



# City of Garden Ridge

9400 Municipal Parkway  
Garden Ridge, Texas 78266-2600  
(210) 651-6632  
Fax (210) 651-9638

## AGENDA PLANNING AND ZONING COMMISSION REGULAR SESSION TUESDAY, JUNE 14, 2016 -- 6:00 P.M.

The Garden Ridge Planning and Zoning Commission will meet in a scheduled regular at 6:00 p.m., Tuesday, June 14, 2016 in the City Council Chambers, 9400 Municipal Parkway, Garden Ridge, Texas. This is an open meeting, open to the public, subject to the Open Meetings Law of the State of Texas, and as required by law, notice is hereby posted on June 10, 2016 before 5:00 p.m., providing time, place, date and agenda thereof. The meeting facility is wheelchair accessible and accessible parking spaces are provided. Requests for accommodations or interpretive services must be made 48 hours prior to this meeting.

1. Call to Order
2. Roll Call
3. Citizen Comments – limited to 3 minutes each

### **Rules for Citizen's Participation:**

The Planning and Zoning Commission welcomes citizen participation and comments at all of their Commission Meetings. As a courtesy to your fellow citizens and out of respect to our elected officials, we request that if you speak, that you please follow these guidelines.

- a) Direct your comments to the entire Commission, not to an individual member, nor to the audience.
- b) Show the Commission the same respect and courtesy that you would like to be shown.
- c) Limit remarks to three (3) minutes per citizen during Item 3 and to three (3) minutes per citizen during Item 6.
- d) Citizens' comments will be limited to one (1) hour in Item 3 and thirty (30) minutes in Item 6.
- e) Citizen comments may be deferred to a specific Business Item set forth in Section 4, below, if such comments pertain to such Business Item

*NOTE: The Texas Open Meetings Act permits a member of the public or a member of the governmental body to raise a subject that has not been included in the notice for the meeting. However, any discussion of the subject **must be limited** to a proposal to place the subject on the agenda for a future meeting and any response to a question posed to the Commission is limited to either a statement of specific factual information or a recitation of existing policy. TEX. GOV'T CODE § 551.042.*

4. Business Items

- a) Petition by Sahota Holdings, LLC c/o Ravinder Shota, for rezoning of a 2.080 acre tract at the southwest corner of FM 2252 and Nacogdoches Loop, from Residence Agriculture (RA) District to Neighborhood Service District (B-1) for a convenience store and car wash.
  - i. Hold a Public Hearing to receive comments regarding the petition
  - ii. Make a recommendation of approval or disapproval to the City Council
- b) Petition by Sahota Holdings, LLC c/o Ravinder Shota, for Master Development Plan for a 2.080 acre tract at the southwest corner of FM 2252 and Nacogdoches Loop for a convenience store and car wash
  - i. Make a recommendation of approval or disapproval to the City Council
- c) Entrance and sign design for The Woods of Garden Ridge at Misty Arbor and Bindseil Lane

5. Administrative Items

The Commission may discuss, consider and/or take possible action on the following items:

- a) Minutes of the May 10, 2016 Planning and Zoning Commission Meeting
- b) Items discussed at the June 1, 2016 City Council Regular Meeting
- c) Set date, time and location for next meeting

6. Citizen's Participation: - 3 minute limit per citizen.  
See "Rules for Citizen's Participation" under Item 3.

7. Adjournment

**AGENDA NOTICES:**

**Decorum Required:**

Any disruptive behavior, including shouting or derogatory statements or comments may be ruled out of order by the Presiding Officer. Continuation of this type of behavior could result in a request by the Presiding Officer that the individual leave the meeting, and if refused, an order of removal.

**Action by Council Authorized:**

The Commission may vote and/or act upon any item within this Agenda. The Commission reserves the right to retire into executive session concerning any of the items listed on this Agenda, pursuant to and in accordance with Texas Government Code Section 551.071, to seek the advice of its attorney about pending or contemplated litigation, settlement offer or on a matter in which the duty of the attorney to the governmental body under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas conflict with the Open Meetings Act and may invoke this right where the City Attorney, the Mayor or a majority of the Governing Body deems an executive session is necessary to allow privileged consultation

between the City Attorney and the governing body, if considered necessary and legally justified under the Open Meetings Act. The City Attorney may appear in person, or appear in executive session by conference call in accordance with applicable state law.

**Executive Sessions Authorized:**

This agenda has been reviewed and approved by the City's legal counsel and the presence of any subject in any Executive Session portion of the agenda constitutes a written interpretation of Texas Government Code Chapter 551 by legal counsel for the governmental body and constitutes an opinion by the attorney that the items discussed therein may be legally discussed in the closed portion of the meeting considering available opinions of a court of record and opinions of the Texas Attorney General known to the attorney. This provision has been added to this agenda with the intent to meet all elements necessary to satisfy Texas Government Code Chapter 551.144(c) and the meeting is conducted by all participants in reliance on this opinion.

**Attendance By Other Elected or Appointed Officials:**

It is anticipated that members of the City Council, other city board, commissions and/or committees may attend the meeting in numbers that may constitute a quorum of the other city boards, commissions and/or committees. Notice is hereby given that the meeting, to the extent required by law, is also noticed as a meeting of the City Council, other boards, commissions and/or committees of the City, whose members may be in attendance. The members of the boards, commissions and/or committees may participate in discussions on the same items listed on the agenda, which occur at the meeting, but no action will be taken by such in attendance unless such item and action is specifically provided for on an agenda for that board, commission or committee subject to the Texas Open Meetings Act.

  
Shelley Goodwin, TRMC  
City Secretary

This is to certify that I, Shelley Goodwin, posted this Agenda at 2:00pm pm June 8, 2016 on the bulletin board located at the entrance to the Garden Ridge City Hall, 9400 Municipal Parkway, Garden Ridge, Texas.

  
Shelley Goodwin, TRMC  
City Secretary

REC#: 00178975 5/03/2016 9:37 AM  
TRAN: 112.0000 P&Z VARIANCE FEES  
OPER: CASH TERM: 001  
REF#: SD1127  
REZONING FEE-SAHOTA HOLDINGS 500.00CR  
P&Z VARIANCE FILING

REC#: 00178975 5/03/2016 9:37 AM  
TRAN: 112.0000 P&Z VARIANCE FEES  
OPER: CASH TERM: 001  
REF#: SD1127  
MASTER PLAN-SAHOTA HOLDINGS  
P&Z VARIANCE FILING 550.00CR

Ordinance# 13-12008 City of Garden Ridge

Planning and Zoning Form 1  
APPLICATION FOR CHANGE OF ZONING  
(Type or Print)

1. Date: 4-19-2016 Case #: \_\_\_\_\_
  
2. Applicant Name: SAHOTA HOLDINGS, LLC; c/o RAVINDER SAHOTA  
(First) (Middle) (Last)
  
3. Mailing Address: PO BOX 592233  
(Street)  
SAN ANTONIO TX 78259  
(City) (State) (Zip)  
  
Phone: (830)- 832-7284
  
4. Applicant's relationship to property to be rezoned:  
Sole owner  Part owner  Other; \_\_\_\_\_  
(Specify)  
(If not sole owner, furnish a notarized letter of authorization from all owners as attachment 1.)
  
5. Property location: SW CORNER OF FM 2252 AND NACOGDOCHES LOOP  
(Street address or street property front)
  
6. Legal description:  
  
Plat: Lot(s) \_\_\_\_\_ Block(s) \_\_\_\_\_  
  
Subdivision; \_\_\_\_\_  
  
Acreage: 2.080 (If acreage, provide separate metes and bounds description as attachment 2.)  
  
Property Deed recorded in Comal County Volume # 791 Page # 388
  
7. Existing use of property: RESIDENCE-AGRICULTURE (RA) DISTRICT
  
8. Proposed use of property: COMMERCIAL ZONE - NEIGHBORHOOD SERVICE DISTRICT (B-1) FOR USE AS  
CONVENIENCE STORE & CAR WASH
  
9. Give dimensioned map with north orientation, scaled 100 or 200 feet per inch, of the property to be rezoned showing all streets and parcels of land within 300 feet of the property as attachment 3. Key each adjoining land parcel to a list of current owners and addresses as attachment 4.
  
10. Give site plan showing location, dimensions and uses of existing or proposed structures, easements, water sources, fences, curb cuts, street and alley right-of-way lines within one foot of property to be rezoned, on another map of larger scale, as attachment 5.
  
11. Identify any deed restrictions on agriculture, residential, business or other use. If none, so state: NONE

12. Reason for requesting zoning change (attach additional sheet if needed): \_\_\_\_\_  
 ZONING CHANGE IS NECESSARY TO CHANGE FROM RESIDENTIAL CLASSIFICATION TO COMMERCIAL USE TO ALLOW  
 FOR AN AUTOMOTIVE SERVICE STATION AND CAR WASH  
 \_\_\_\_\_  
 \_\_\_\_\_

13. The undersigned hereby requests that the property identified in this application be reclassified  
 from: RESIDENCE-AGRICULTURE (RA) DISTRICT district  
 to: COMMERCIAL - NEIGHBORHOOD SERVICE (B-1) district, in  
 accordance with Garden Ridge City Ordinance 13. I consent to the posting of hearing notices on the said  
 property. I understand that the information provided herein will be used by the City of Garden Ridge for  
 sending required notices to adjacent property owners. I bear full responsibility and liability for any losses  
 or costs incurred by the City, or others, caused by errors or omissions in this application.

14. Applicant Signature: Frank Sell

Attachments:

1. Owner(s) letters of authorization, if applicable
2. Metes and Bounds description of property, if applicable
3. Map of property
4. List of adjacent property owners
5. Site plan
6. Check for zoning change fee per Garden Ridge City Ordinance 11.

----- CITY USE ONLY -----  
 CHANGE OF ZONING

		Date
City Admin.:	Application received	_____
	Application verified	_____
	Fee received \$ _____ Check # _____	_____
	Application sent to P&Z	_____
P&Z:	Owners' acceptance of application	_____
	Notice to adjoining property owners'	_____
	Notice of public hearing	_____
	Public hearing conducted	_____
	P&Z decision on rezoning	_____
	P&Z recommendation to City Council	_____
City Council:	Notice to adjoining property owners'	_____
	Notice of public hearing	_____
	Public hearing conducted	_____
City Admin.:	Applicant notified of Council Decision	_____
	Zoning ordinance change published	_____



April 26, 2016

Ms. Nancy Cain  
City of Garden Ridge  
City Administrator  
9400 Municipal Parkway  
Garden Ridge, Texas 78266-2366

Re: Garden Ridge Center Convenience Store (Master Development Plan Narrative)

Dear Ms. Cain:

The attached narrative is to accompany the Master Development Plan seeking review/approval for Water Rights for the subject tract. The proposed tract is a 2.080 acre tract of land located at the southwest corner of FM 2252 and Nacogdoches Loop (Old FM 2252) within the City of Garden Ridge. The following subheadings discuss the various components that will be considered with the design and development of this tract.

**ZONING** – The current zoning for this property is Residence-Agriculture (RA) and is pending review/approval of rezoning to Commercial Zone – Neighborhood Service District (B-1) to allow use of this tract as a Convenience Store and Car Wash. The Convenience Store will encompass a Convenience Store (5,000 SF), a Fast Food Facility with drive-thru (1,200 SF), and Retail Space (1,500 SF), for a total gross area floor area of 7,700 SF. The Off-Street Parking criteria from the Zoning Ordinance was used to determine the minimum parking requirements, which is provided.

**DRAINAGE** – The site drains naturally from west to east and outfalls to a 48” CMP pipe under Old FM 2252. The proposed site will also drain primarily west to east with surface drainage across the parking lot and storm sewer drains/inlets and piping to capture runoff. The proposed storm sewer runoff will be collected onsite and outfall into a proposed detention basin sized to accommodate the 10, 25, and 100 year storm events with a peak rate of run-off (discharge) no greater than pre-existing 25-yr storm event as outlined in the Subdivision Platting Ordinance.

**SETBACKS, FAÇADE, LIGHTING, AND LANDSCAPING** – The design constraints outlined in the Zoning Ordinance for a Neighborhood Service District (B-1) shall be adhered to for the building height, front, side, and rear yard setbacks. The building façade will be of not less than 90% masonry or masonry veneer construction. Exterior lighting shall not aim beyond the owner’s property line nor illuminated adjoining Residential District lots to more than five (5) foot-candles measured at the point of highest intensity. The Site Lighting / Parking Lot Lighting will encompass LED bulbs which offers the advantages of lumen output, color rendering, and energy efficiency. Retaining walls shall be timber, concrete, concrete or brick masonry or stone. A

landscaping design will be included as part of the construction drawings submitted for a building permit and following the requirements outlined in Section 8.5 of the Zoning Ordinance. On the subject tract, oak trees ten (10) inch diameter and elm trees over eight (8) inch diameter or greater will be saved that do not overly the proposed building envelope, parking lot, driveways / drive aisles, or structures. A variance request will be submitted to the city for the no greater than one-third (1/3) of lot area for impervious cover.

UTILITIES – The site has availability of all utilities except for sewer. An on-site septic system will be designed following the Texas Commission on Environmental Quality (TCEQ) Chapter 285 – On-site Sewage Facilities Criteria. The aerobic system will be sized only to treat the washrooms from the convenience store, fast food facility, and retail space. The required separation distances will also be met. Discussions with the City Engineer will be required to determine the requirements for proposed water improvements planned for Nacogdoches Loop. The proposed water meter sizes are for the intended uses:

- Convenience Store, Lease Space, & Fast Food Facility: 1 ½" Meter
- Car Wash: 1" Meter
- Irrigation: ¾" Meter

ENVIRONMENTAL – The subject tract is located within the Edwards Aquifer Transition Zone. The proposed Convenience Store and Car Wash will be in compliance with the TCEQ Requirements for projects within this zone. As such, an Underground Storage Tank Facility Plan will be submitted and approved prior to construction of any underground storage tank. This will be required for both the underground fuel tank and the proposed car wash systems which employ underground tanks as well. The proposed Car Wash Equipment and Reclaim System will be self-contained and will not tie into the proposed septic system. Brochures of the Car Wash Equipment (Washworld Profile SoftTouch [ST]) and Reclaim System (Aqua Bio Technologies Bio Pro Complete 4000) have been included with the Master Development Plan Package.

SIGNAGE – The Site Signage / Business Advertising will comply with the city Signage Ordinance for the sign regulations in the (B-1) District.

We appreciate your time and consideration in this matter. Should additional information be required, please contact our office.

Sincerely,  
KFW Engineers



Andrew J. Barboza, P.E.  
Project Engineer

Enclosures

ATTACHMENT 02

EXHIBIT 'A'

File No.: 2077048-SA68 (SL)  
Property: FM 2252, 2.080 acres, Garden Ridge, TX 78266

**BEING 2.080 ACRES OF LAND, MORE OR LESS, OUT OF THE GEORGE M. DOLSON SURVEY NO. 96, ABSTRACT NO. 120, COMAL COUNTY, TEXAS AND BEING THE SAME PROPERTY CONVEYED IN A GENERAL WARRANTY DEED RECORDED IN DOCUMENT NO. 200006003784 AND DESCRIBED IN A SPECIAL WARRANTY DEED RECORDED IN VOLUME 791, PAGE 388, OFFICIAL RECORDS OF COMAL COUNTY, TEXAS, SAID 2.080 BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:**

**BEGINNING AT A MONUMENT FOUND FOR THE NORTHEAST CORNER OF THIS 2.080 ACRES, SAME BEING THE FIRST CHAMFER POINT AT THE INTERSECTION OF THE SOUTHWEST RIGHT-OF-WAY LINE OF FM 2252 AND THE NORTHWEST RIGHT-OF-WAY LINE OF NACOGDOCHES LOOP, SAME ALSO BEING THE POINT OF BEGINNING;**

**THENCE ALONG THE CUTBACK LINE, SOUTH 04 DEGREES 20 MINUTES 57 SECONDS EAST (CALLED SOUTH 04 DEGREES 36 MINUTES 18 SECOND EAST), A DISTANCE OF 65.41 FEET (CALLED 65.19 FEET) TO A MONUMENT FOUND FOR THE SOUTHEAST CORNER OF THIS 2.080 ACRES, SAME BEING THE SECOND CHAMFER POINT AT THE INTERSECTION OF THE SOUTHWEST RIGHT-OF-WAY LINE OF SAID FM 2252 AND THE NORTHWEST RIGHT-OF-WAY LINE OF SAID NACOGDOCHES LOOP;**

**THENCE ALONG THE NORTHWEST RIGHT-OF-WAY LINE OF NACOGDOCHES LOOP, SOUTH 61 DEGREES 29 MINUTES 32 SECONDS WEST (CALLED SOUTH 61 DEGREES 40 MINUTES 14 SECONDS WEST), A DISTANCE OF 345.34 FEET (CALLED 345.33 FEET) TO A POINT FOR THE MOST SOUTHERLY CORNER OF THIS 2.080 ACRES, SAME BEING THE SOUTHEAST CORNER OF THE LADSHAW PARTNERSHIP LTD 4.393 ACRES (DOCUMENT NUMBER 9606022876);**

**THENCE ALONG THE LINE COMMON TO THIS 2.080 ACRES AND SAID LADSHAW 4.393 ACRES, NORTH 30 DEGREES 35 MINUTES 15 SECONDS WEST (CALLED NORTH 30 DEGREES 24 MINUTES 33 SECONDS WEST), A DISTANCE OF 429.44 FEET (CALLED 428.91 FEET) TO A POINT FOR THE MOST NORTHERLY CORNER OF THIS 2.080 ACRES, SAME BEING THE NORTHEAST CORNER OF SAID LADSHAW 4.393 ACRES AND ON THE SOUTHWEST RIGHT-OF-WAY LINE OF SAID FM 2252;**

**THENCE ALONG THE SOUTHWEST RIGHT-OF-WAY LINE OF SAID FM 2252, SOUTH 74 DEGREES 53 MINUTES 08 SECONDS EAST (CALLED 74 DEGREES 42 MINUTES 26 SECOND EAST), A DISTANCE OF 535.55 FEET (CALLED 534.78 FEET) TO THE POINT OF BEGINNING, AND CONTAINING 2.080 ACRES OF LAND, MORE OR LESS.**

**A.P.N. 74432**



# City of Garden Ridge

9400 Municipal Parkway  
Garden Ridge, Texas 78266  
(210) 651-6632  
Fax: (210) 651-9638

May 27, 2016

## NOTICE OF PUBLIC HEARING

Dear Property Owner,

The Planning and Zoning Commission of the City of Garden Ridge, Texas will conduct a public hearing on June 14, 2016 at 6:00 p.m. The public hearing will be held in the Garden Ridge City Hall Council Chambers, 9400 Municipal Parkway, Garden Ridge, Texas.

The purpose of the public hearing will be to consider:

- A) A petition by Sahota Holdings, LLC, c/o Ravinder Sahota to rezone from Residence-Agriculture (RA) District to Neighborhood Service (B-1) District 2.080 acres of land, more or less, out of the George M. Dolson Survey No. 96, Abstract No. 120, Comal County, Texas and being the same property conveyed in a general warranty deed recorded in Document No. 200006003784 and described in a special warranty deed recorded in Volume 791, Page 388, Official Records of Comal County, Texas. Property is located at the southwest corner of the intersection of F.M. 2252 and Nacogdoches Loop in Garden Ridge, Texas. The rezoning is requested for the proposed use of the property for a convenience store and car wash.

Location map, list of adjacent property owners and site plan are contained in the attachments.

This notice gives you the opportunity to express your support of, or objection to, this proposed action. Please feel free to call City Hall at (210) 651-6632 if you need additional information.

Sincerely,



Shelley Goodwin, TRMC  
City Secretary

Enclosures:

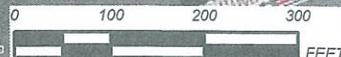
1. Location Map
2. List of Adjacent Property Owners
3. Site Plan



**PROPOSED SITE**



SCALE: 1" = 200'



Source: Esri, DigitalGlobe, GeoEye, DS, USDA, USGS, AEX, Getmapping, Aerogrid, IGN, IGP, swisstopo, and the GIS User Community, Esri, HERE, DeLorme, MapmyIndia, © OpenStreetMap contributors, Esri, HERE, DeLorme, MapmyIndia, © OpenStreetMap contributors, and the GIS user community, SGarza

THIS MAP WAS PRINTED USING THE GIS CLIENT SERVICE FROM KFW ENGINEERS & SURVEYING

**KFW**  
ENGINEERS + SURVEYING

FIRM# 9513 FIRM# 10122300  
14603 HUEBNER RD. BLDG. 40 SAN ANTONIO, TEXAS 78230 PHONE (210) 979-8444 FAX (210) 979-8441

**ATTACHMENT 3  
PROPERTY OWNERS**

REVISIONS: \_\_\_\_\_ ISSUE DATE: \_\_\_\_\_

DATE: April 2016

DRAWN: AJB

**SHEET: 1 OF 1**



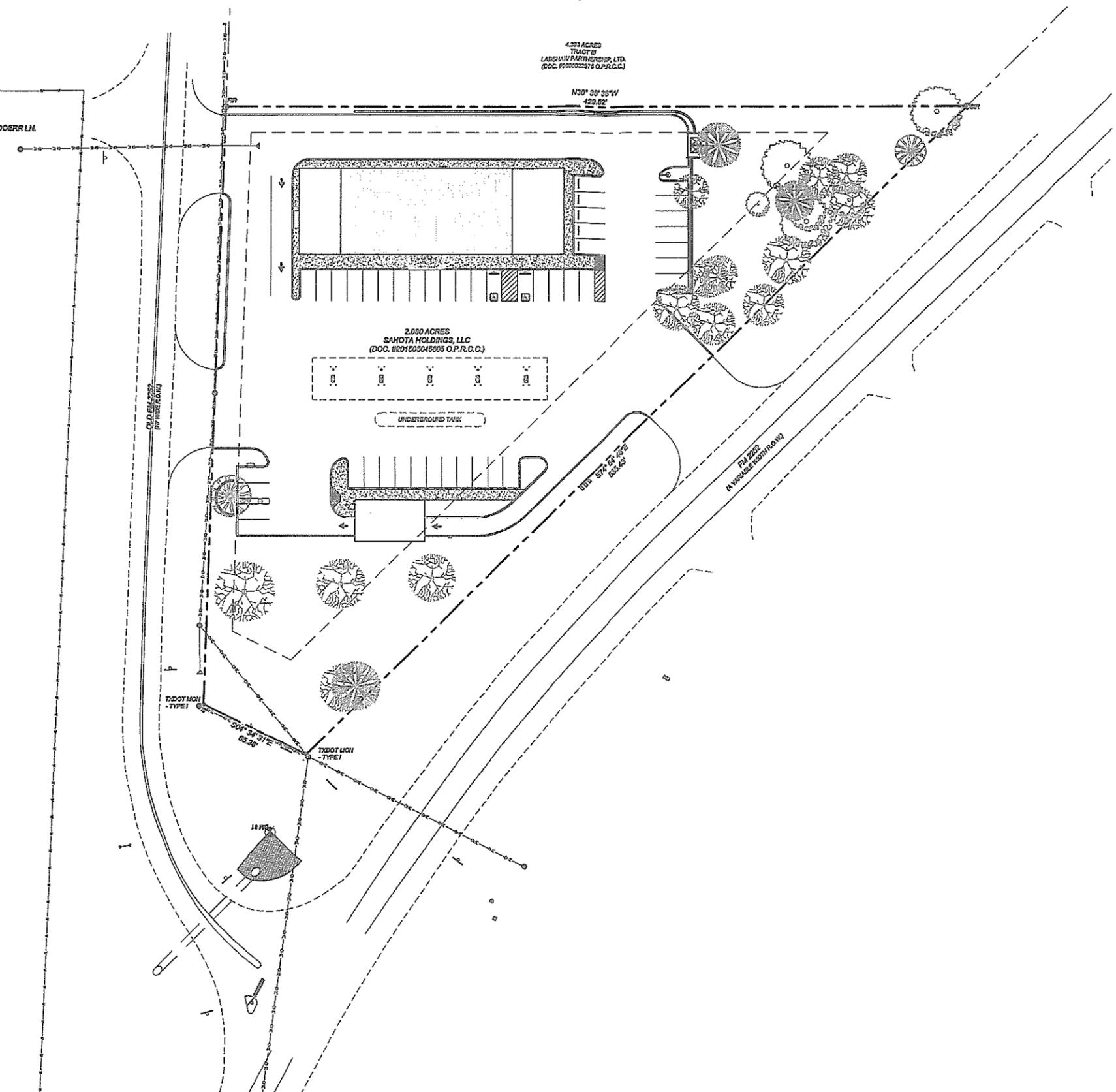
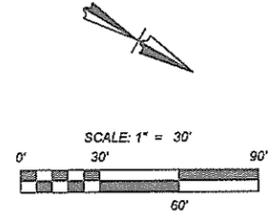
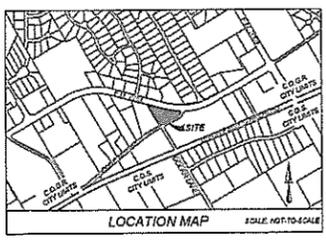
**ATTACHMENT 4**  
**Adjacent Property Owners**  
**Garden Ridge Center - 2.081 Ac Tract**  
**Garden Ridge, Texas**

<u>Num</u>	<u>Owner</u>	<u>Location Address</u>	<u>Mailing Address</u>	<u>Subd</u>	<u>Lot</u>	<u>Acreage</u>
1	Mark P. Howell	19295 FM 2252	19295 FM 2252 Garden Ridge, TX 78266		1	1.100
2	Voeller Properties LLC	19311 FM 2252	19311 FM 2252 Garden Ridge, TX 78266	Ashley Oaks Executive Center	1	0.815
3	Reunion Partners, LLC	19315 FM 2252	PO BOX 311323 New Braunfels, TX 78131	Ashley Oaks Executive Center	2	1.265
4	Overman Properties IV, LLC	19365 FM 2252	18965 FM 2252 Garden Ridge, TX 78266	Ashley Oaks Executive Center	3	2.726
5	Arrowood Mgmt LLC	19403 Arrowood Place	2511 N. Loop 1604 W, Ste 101 San Antonio, TX 78258	Arrowood Estates	20	1.146
6	Stephen F & Kyong S Elsdon	19407 Arrowood Place	19407 Arrowood Place Garden Ridge, TX 78266	Arrowood Estates	21	0.763
7	Ladshaw Partnership, LTD; c/o Harold A. Miller	Garden Ridge, TX 78266	8546 Marathon Dr. Universal City, TX 78148	A-120 Sur-9 G M DOLSON		4.393
8	Ladshaw Partnership, LTD	Schertz, TX 78154	393 Landa St. New Braunfels, TX 78130	A-120 Sur-9 G M DOLSON		6.494
9	Joan Catheryn Crowell	Garden Ridge, TX 78266	2402 Welsch LN New Braunfels, TX 78132	A-120 Sur-9 G M DOLSON		14.189

**LEGAL DESCRIPTION**  
 BEING 2.820 ACRES OF LAND, MORE OR LESS, OUT OF THE GEORGE M. DOLSON SURVEY NO. 94, ABSTRACT NO. 123, COMAL COUNTY, TEXAS AND BEING THE SAME PROPERTY CONVEYED IN A GENERAL WARRANTY DEED RECORDED IN THE DOCUMENT NO. 200605003784 AND DESCRIBED IN A SPECIAL WARRANTY DEED RECORDED IN VOLUME 191, PAGE 318 ORIGINAL RECORDS OF COMAL COUNTY, TEXAS

**BENCHMARKS**  
 BM# 1: SET 7" IN SQUARE IN THE CORNER OF A CONCRETE DRAIN STRUCTURE EAST OF THE SUBJECT SITE ON THE SAME SIDE OF FH 2202. ELEVATION = 432.94'  
 BM# 2: SET 7" IN SQUARE ON TOP OF CURB PRO A MEDIAN ISLAND ENTRANCE TO THE GARDEN RIDGE ESTATES NORTHWEST OF THE SUBJECT TRACT. ELEVATION = 447.42'

- COORDINATION NOTE:**
- CONTACT TWC (TIME WARNER CABLE) TO COORDINATE CABLE TV SERVICE (210) 244-6200.
  - CONFIRM REQUIREMENTS AND COORDINATE WITH CPS (CITY PUBLIC SERVICE) FOR INSPECTIONS AND CONDUIT SIZES FOR PRIMARY AND SECONDARY ELECTRICAL SERVICES. (210) 353-2256.
  - CONTACT AT&T TO COORDINATE TELEPHONE SERVICE. 1-800-449-7928.
  - CONTRACTOR TO COORDINATE WITH CPS (CITY PUBLIC SERVICE) TO PLAN GAS SERVICES. (210) 353-2256.
  - CONTRACTOR TO COORDINATE WITH CITY OF GARDEN RIDGE WATER COMPANY TO PLAN WATER SERVICES. (210) 451-6332.
  - CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.



**K&W**  
**ENGINEERS & SURVEYORS**  
 1431 Parkway Blvd., Suite 200, San Antonio, TX 78211-1782  
 Phone: (210) 353-2256 Fax: (210) 353-2257  
 Email: k&w@k&w.com

DATE	REVISIONS

THIS DOCUMENT IS RELEASED BY AUTHORITY OF CRAIG FLETCHER, P.E. # 00940 FOR INTERIM REVIEW ONLY AND NOT TO BE USED FOR CONSTRUCTION.

**GARDEN RIDGE CENTER CONVENIENCE STORE**  
**GARDEN RIDGE, TX 78266**  
**ATTACHMENT 5 - SITE PLAN**

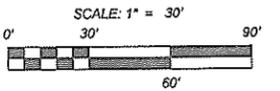
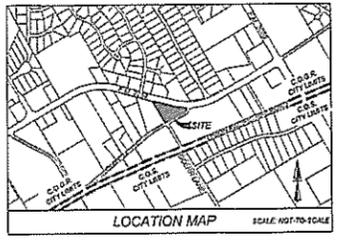
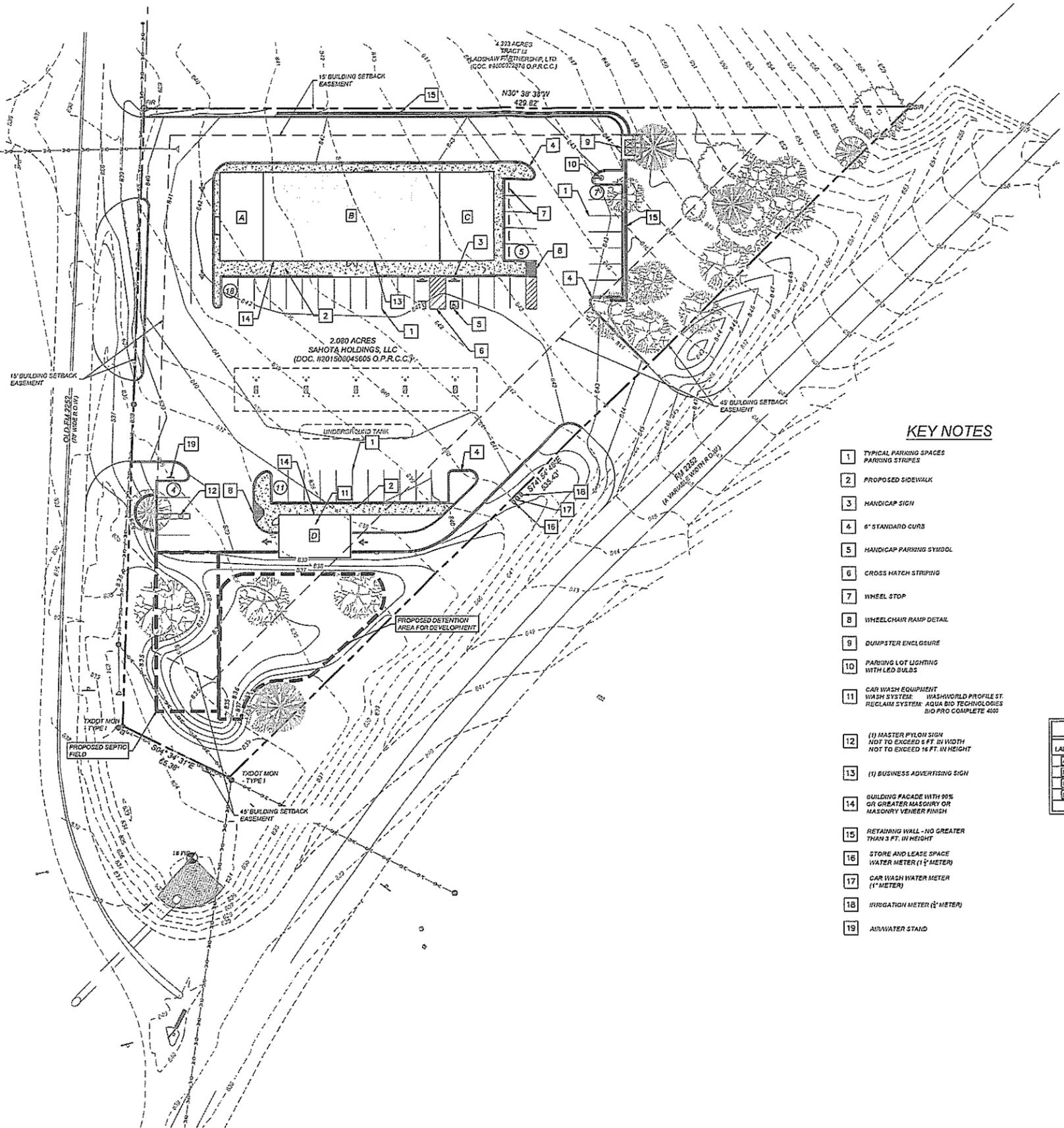
JOB NO. 158-03-01  
 DATE: APRIL, 2018  
 DRAWN: M.C. CHECKED: C.P.  
 SHEET NUMBER:

Date: Apr 22, 2016, 11:42am User ID: abehouse  
 File: P:\1580301\Design\Enhanced\DWG\1580301-5-SITE-PLAN.dwg

**LEGAL DESCRIPTION**  
 BEING 2.650 ACRES OF LAND, MORE OR LESS, OUT OF THE GEORGE M. DOLSON SURVEY NO. 94, ABSTRACT NO. 132, COMAL COUNTY, TEXAS AND BEING THE SAME PROPERTY CONVEYED IN A GENERAL WARRANTY DEED RECORDED IN THE DOCUMENT NO. 200504003784 AND DESCRIBED IN A SPECIAL WARRANTY DEED RECORDED IN VOLUME 174, PAGE 248 OFFICIAL RECORDS OF COMAL COUNTY, TEXAS

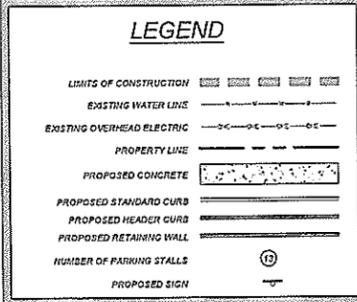
**BENCHMARKS**  
 BM # 1: SET 2" IN SQUARE IN THE CORNER OF A CONCRETE DRAIN STRUCTURE EAST OF THE SUBJECT SITE ON THE SAME SIDE OF FM 2252 ELEVATION = 832.33'  
 BM # 2: SET 2" IN SQUARE ON TOP OF CURB FROM A MEDIAN ISLAND ENTRANCE TO THE GARDEN RIDGE ESTATES NORTHWEST OF THE SUBJECT TRACT. ELEVATION = 887.52'

- COORDINATION NOTE:**
- CONTACT TWC (TIME WARNER CABLE) TO COORDINATE CABLE TV SERVICE. (210)-244-6200.
  - CONFIRM REQUIREMENTS AND COORDINATE WITH CPS (CITY PUBLIC SERVICE) FOR INSPECTIONS AND CONDUIT SIZES FOR PRIMARY AND SECONDARY ELECTRICAL SERVICES. (210)-353-2256.
  - CONTACT AT&T TO COORDINATE TELEPHONE SERVICE. 1-800-449-7923.
  - CONTRACTOR TO COORDINATE WITH CPS (CITY PUBLIC SERVICE) TO PLAN GAS SERVICES. (210)-353-2256.
  - CONTRACTOR TO COORDINATE WITH CITY OF GARDEN RIDGE WATER COMPANY TO PLAN WATER SERVICES. (210)-651-6832.
  - CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.



**KEY NOTES**

- TYPICAL PARKING SPACES  
PARKING STRIPES
- PROPOSED SIDEWALK
- HANDICAP SIGN
- 6" STANDARD CURB
- HANDICAP PARKING SYMBOL
- CROSS HATCH STRIPING
- WHEEL STOP
- WHEELCHAIR RAMP DETAIL
- DUMPSTER ENCLOSURE
- PARKING LOT LIGHTING WITH LED BULBS
- CAR WASH EQUIPMENT  
WASH SYSTEM: WASHWORLD PROFILE ST.  
RECLAIM SYSTEM: AQUA BIO TECHNOLOGIES  
BIO PRO COMPLETE 400
- (1) MASTER PYLON SIGN  
NOT TO EXCEED 14 FT. IN WIDTH  
NOT TO EXCEED 16 FT. IN HEIGHT
- (1) BUSINESS ADVERTISING SIGN
- BUILDING FACADE WITH 90%  
OR GREATER MASONRY OR  
MASONRY VENEER FINISH
- RETAINING WALL - NO GREATER  
THAN 3 FT. IN HEIGHT
- STORE AND LEASE SPACE  
WATER METER (1" WATER)
- CAR WASH WATER METER  
(1" WATER)
- IRRIGATION METER (1" WATER)
- AIR/WATER STAND



**TRAFFIC SUMMARY TABLE**

LABEL	BUILDING USE	GROSS FLOOR AREA	OFF STREET PARKING REQ. RATIO	PARKING PROVIDED
A	Fast Food Facility	1,200 S.F.	1 : 100	12
B	Convenience Store	5,000 S.F.	1 : 200	25
C	Retail Space	1,500 S.F.	1 : 200	8
D	Car Wash	900 S.F.	N/A	-
			TOTAL	45

**PROPOSED WATER METER SIZES**

BUILDING USE	GROSS FLOOR AREA	LuEs
Convenience store & Lease space	1 1/2" Water Meter	4.0
Car Wash	1" Water Meter	1.7
Irrigation	3/4" Water Meter	1.3



DATE: \_\_\_\_\_  
 REVISIONS: \_\_\_\_\_  
 THIS DOCUMENT IS RELEASED BY AUTHORITY OF CRAIG FLETCHER, P.E. # 90340 FOR INTERIM REVIEW ONLY AND NOT TO BE USED FOR CONSTRUCTION.

**GARDEN RIDGE CENTER CONVENIENCE STORE  
 GARDEN RIDGE, TX 78266  
 MASTER DEVELOPMENT PLAN**

JOB NO: 156-03-01  
 DATE: APRIL, 2016  
 DRAWN: M.C. CHECKED: C.F.

SHEET NUMBER:  
**1 OF 1**

**PROFILE**  
MAX

**PROFILE**  
ST



## Profile Soft Touch Vehicle Wash System

Washworld's Profile® is the soft touch system you've been waiting for. Combining Washworld's advanced technology used in our touch-free systems with the latest in washing materials, Profile is the answer to growing your car wash business. With standard features such as Washview® HMI On-Site, VS2® Vehicle Sizing System and Flex Pass® Dual Application System, Profile provides an exceptional value.

Your customers are sure to appreciate Profile as well.

The wall mounted system eliminates the gantry and presents a clean, open bay while Washworld's exclusive Digital Surface Profile (DSP) utilizes 3D imaging to insure optimal cleaning. Eye-catching LED lighting and audible voice prompts add to the experience.

Like all of Washworld's systems, Profile was designed with emphasis on durability, simplicity of use and reduced maintenance. Profile is your profit generator.

**WASHWORLD**

2222 American Blvd. | DePere, WI  
54115

920.338.9278 | 888.315.7253

# Profile With The Latest Technology

## Digital Surface Profile (DSP)

Washworld's exclusive DSP - Digital Surface Profile system is the advanced method of reading a vehicle's contours to allow for the most precise cleaning possible. Utilizing 3D imaging, DSP enables Profile to adjust for various vehicle surfaces to deliver a wash that reaches every angle with Profile's super soft polyethylene foam wash media. The dual side brushes are belt driven with independent movement while the variable frequency drive controls for the side and top brushes ensure a smooth operation. Profile's programmable Clean Rinse Wash Media Cleaning System keeps the brushes from retaining dirt and debris which results in the best possible customer experience.

The DSP System offers consistent length, width and height measuring of vehicles for optimal product application and cleaning by Profile. This ensures that products are applied to the vehicle not the floor, which saves money and reduces wash times by customizing the travel distance of the Profile based on the length of each individual vehicle.

## VS<sup>2</sup>® - Vehicle Sizing System

Especially important when positioning vehicles within a soft vehicle wash bay, Washworld's Vehicle Sizing System (VS<sup>2</sup>), with precise loading feature, utilizes advanced software coupled with photo eye technology to provide a safe and reliable means of positioning the vehicle in the wash bay. This eliminates the need for floor mounted treadle plates or wheel stops, resulting in a significant reduction in wiring and fewer components to maintain.



## Solution Delivery System (SDS)

The Profile Solution Delivery System comes loaded with standard features:

- Multi-Stage solution delivery system which is capable of up to 225psi
- Composite direct injection/no drift chemical metering system
- Eight (8) low pressure chemical injectors which allows for any two products to be applied simultaneously in a single wash pass
- Multiple coupling joints for ease of maintenance
- Standard product application includes pre-soak one, pre-soak two, protectant, and sealant

## Flex Pass™ - Dual Application System

Profile's Dual Flex Pass application system provides complete coverage of a vehicle's sides and top simultaneously. Programming allows for front (exit) mounted pods and rear (entrance) mounted pods individually or concurrently to apply pre-soaks, protectants, sealants and rinse, with the ability for two products to be applied during a single pass of the vehicle. The Dual Flex Pass means:

The ultimate in time savings = More vehicles per hour = Greater return on investment!

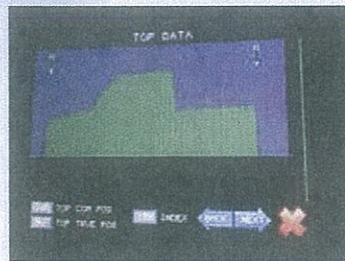
## Washview® HMI On-Site & Washview HMI Remote™

A color touch screen gives you complete access to Profile in order to turn functions on or off, including programming, maintenance, diagnostics, and view wash counts. No on-site PC or laptop is needed to configure your wash. Profile also features a comprehensive integrated security system which can monitor auto cashiers, doors, fluid levels and more. In addition the Wash Package Storage capability allows for up to eight wash packages to be retained which can be quickly copied to the immediate wash setup.

The revolutionary design of our Washview HMI Remote features the same cutting edge technologies as Washview with the additional ability to receive e-mail or text message alerts from anywhere in the world using your Tablet or Smart Phone (application requires additional purchase from iTunes or Google Play). Washworld's exclusive Washview HMI Remote software allows you to access Profile from anywhere using your PC, laptop, tablet or Smart Phone.

A large graphic of a globe with the "WASHWORLD" logo overlaid in white, bold, sans-serif capital letters. The globe shows the continents in a light blue color against a darker blue background.

**WASHWORLD**



Digital Surface Profile - DSP



VS<sup>2</sup> for Profile

# Profile With Quality Built In

## Stainless Steel

There is no better material to use in a wash environment than stainless steel and it is utilized throughout Profile. The stainless steel used for Profile's wall mounting system, travel rails, and laser cut overhead wash carriage, ensures that Profile is the most long lasting and durable system in the industry.

## Energy Chain

Profile incorporates the latest in energy chain design available for handling of product delivery, controls and communication needs. Our composite energy chain is factory loaded with solution supply lines and control wiring. Profile includes a factory wired bay box for ease of installation which also reduces the installation cost. Available as driver or passenger side mount, E-chain provides a clean appearance in the wash bay and also a low maintenance way to route hoses, wires, and communication cable to the wash unit.

## The Profile Advantage

Designed to increase profits by reducing operating and maintenance costs, Profile features:

- Energy efficient TEFC climate proof motors
- Sealed gearboxes to eliminate oil changes
- High quality, premium fiberglass enclosures to withstand harsh wash bay conditions for a longer life
- Minimal rolling resistance for improved efficiency
- Positive dual belt carriage drive for accurate tracking and smooth motion
- A hand held remote control replaces a joystick box for manual movement of Profile functions
- For colder climates, an in-bay temperature monitoring system will automatically disable the wash bay if temperatures reach a preset threshold
- Profile is Wash Activation and Customer Buy Up ready
- Multi application of products in a single pass with reduced wash package time means more cars per hour

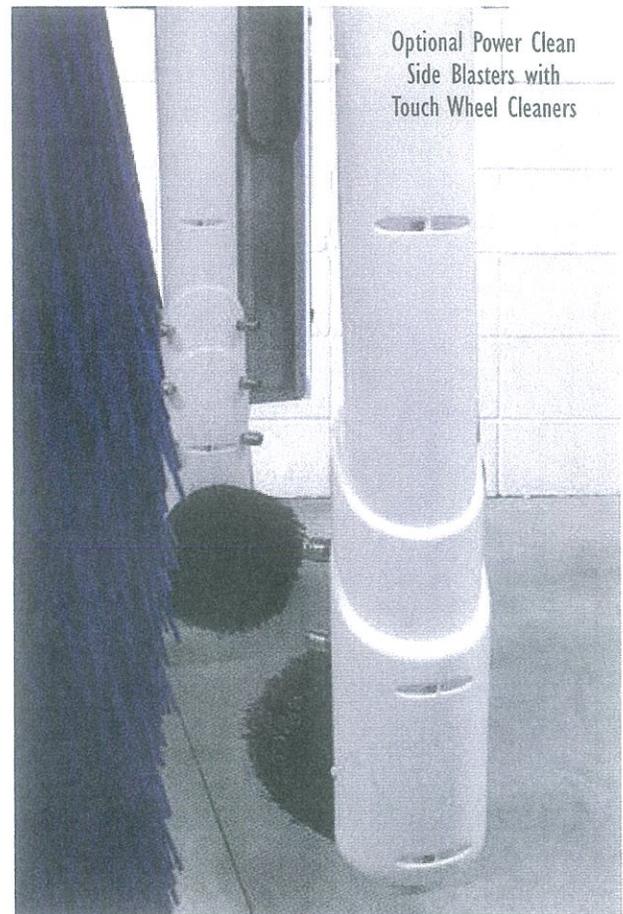
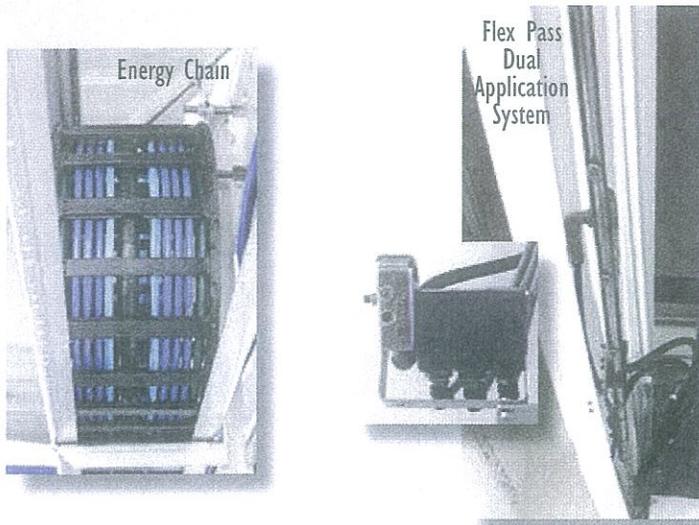
## Customer Appeal

From the minute that your customers drive into your wash bay, they will see that Profile is a different kind of soft wash. Profile's wall mounted system keeps the machine up off the floor and creates an open and inviting wash bay. High gloss composite wash carriage and side brush covers with sleek graphics and LED lighting give Profile a clean and refined look.

As your customers proceed into the bay, audible voice prompts combine with dual machine mounted multi-colored LED light bars to position the vehicle in the bay. As the wash progresses, the voice prompts inform your customer of product applications which coincide with the optional in-bay instructional sign.

The proof of any system is in how well it cleans. With Profile's three brushes guided by DSP, your customers' vehicles receive optimal cleaning. Optional Power Clean Side Blasters with touch or touch-free wheel cleaners combine for a value added service your customers will appreciate.

Profile is a sure way to keep your customers coming back and a certain way to increase your bottom line.



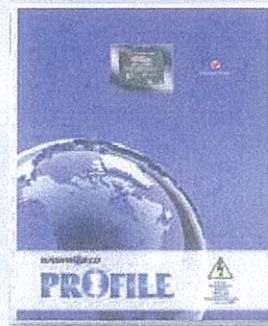
## STANDARD FEATURES

- Stainless Steel Wall Mounting System
- 34' Stainless Steel Travel Rails
- Stainless Steel Laser Cut Overhead Wash Carriage
- High Gloss Composite Wash Carriage Covers
- High Gloss Composite Side Brush Covers
- VS<sup>2</sup> - Vehicle Sizing System with Precise Loading Feature
- DSP (Digital Surface Profile) Technology
- Super Soft Polyethylene Foam Wash Media (Top and Side Brushes)
- Programmable Clean Rinse, Wash Media Cleaning and Lubricating System
- Belt Driven Dual Side Brush with Independent Movement
- Positive Drive Dual Belt Carriage Motion
- TEFC/Climate Proof Motors and Gearboxes with Minimal Rolling Resistance
- Variable Frequency Drive Controls for Smooth Top and Side Brush Operation
- Composite E-Chain
- Driver or Passenger Side E-Chain Supply
- Dual Flex Pass Application System- Complete Coverage-Sides and Top
- In-Bay Audible Voice Commands
- Dual Machine Mounted 78" Multi-Colored LED Entrance Side, Light Bars
- Multi-Stage Solution Delivery Pump (Capable of up to 225 PSI)
- Composite Direct Injection/No Drift Chemical Metering System
- (8) Low Pressure Chemical Injectors
- Washview HMI On-Site Controller
- Comprehensive Integrated Security System
- Wash Package Storage
- Hand Held Remote Control for Manual Movement and Machine Functions
- In-Bay Temperature Monitoring System
- Wash Activation and Customer Buy Up Ready

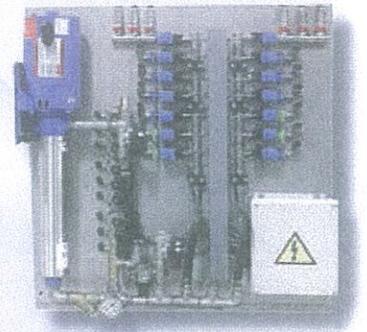
## OPTIONS

- Tri-Foam Pods - Two Sets (1 Set Entrance, 1 Set Exit Mounted)
- Extended Solution Delivery (ESD) with 4 Injectors (1 Each for Bug A'Salt and Wheel Cleaner, 2 for Foam Polish)
- Power Towers - Six Nozzle Configuration Only Available on High Pressure Models
- Reclaim Adapter on High Pressure Models
- Stainless Steel Undercarriage Manifold (Medium or High Pressure)
- High Pressure Delivery System - Ultra Compact Pump Station
- Washview HMI Remote (Remote High Speed Connectivity)
- Entrance and In-Bay Directional/Service Confirmation Signs (12 or 24 Volt)
- Dryer Systems - Unlimited Configurations Available
- LED Countdown Timers
- Custom Color Wash Media
- Powerclean Side Blasters with Touch Wheel Cleaner
- Powerclean Side Blasters with Touch-Free Wheel Cleaner
- Door Controls - Independent (Entrance and Exit) Control
- Water Treatment Equipment

© 2015 Washworld, Inc.



Profile  
Ultimate Control Cabinet



Medium Pressure  
Solution Delivery System (SDS)  
Shown with Optional  
Extended Solution Delivery (ESD)

Optional Ultra Compact  
High Pressure  
Delivery System



## SPECIFICATIONS

Equipment Envelope Requirements does not include obstructions, etc.

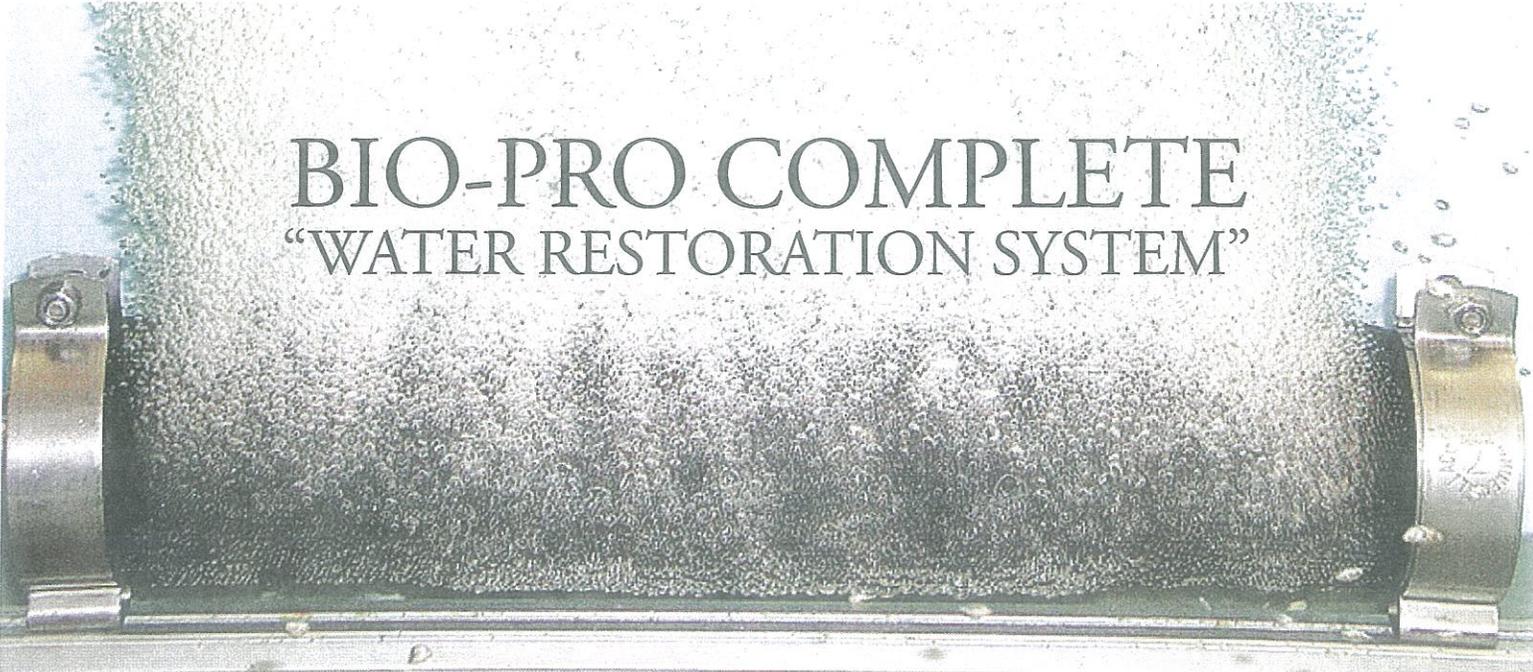
Bay Height.....	11'	minimum
Bay Width	Wall Mounted Energy Chain....	15' 4" minimum
Bay Length	Recommended.....	37' 4" minimum

## PROFILE UTILITY REQUIREMENTS

Utility Requirements for standard Profile ST does not include options or other equipment requirements

Air: .....	13 CFM @ 40 PSI (with Tri-Foam)
Water: .....	15 GPM @ 40 PSI with 1" supply
Electrical: .....	30 Amps, 3 phase, 208/230 V

*Note: Specifications Subject to Change Without Notice. The decibel level of the dryer (measured at 1.6 meters from the floor and 1 meter from the surface) is 94dB. The decibel level of the pump station measured at 1.6 meters from the floor and 1 meter from the surface) is 84dB for high pressure and 72dB for low pressure. Decibel levels are impacted by surrounding materials and conditions and will vary.*



# BIO-PRO COMPLETE "WATER RESTORATION SYSTEM"

## BIOLOGICAL WASTE WATER RESTORATION SYSTEMS

*Water is and will always remain the lifeblood of the vehicle wash industry.* Without water our industry will no longer exist! Water shortages have been experienced throughout the world and the cost of obtaining fresh water and the discharge of waste water have continued to rise. Cities have continually raised prices on water and sewer with no end in sight. These increases will continue to negatively impact the profits of vehicle wash sites and some day force them out of business unless action is taken to treat and reuse waste water.

## NATURE'S WAY

*We take our direction for waste water treatment from nature.* In our environment the natural process of cleaning waste is through the utilization of aerobic bacteria to consume waste. Sewer treatment systems have incorporated this technology for years. By bringing this approach to the vehicle wash industry, the natural process of biologically breaking down used vehicle wash chemicals into  $\text{CO}_2$  and  $\text{H}_2\text{O}$  will dramatically reduce a washes fresh water intake and sewer discharge costs.

**AQUA BIO<sub>i</sub>**  
TECHNOLOGIES 

## THE NATURAL PROCESS OF WATER RESTORATION

### SOLIDS SEPARATION

*In any vehicle wash, solids coming off the vehicles need to be settled out in settling tanks where the solids can be collected and hauled away.* Gravity is free, so by letting gravity settle out the solids in this process, solid separation is not done with pumps and electricity.

### AERATION

After the waste water exits the settling tanks where the largest solids have settled out, the water enters an aeration chamber which is the first step in a biological treatment process. In this chamber the air is infused in the water to not only emulsify the chemicals it's also used to begin the transformation of the natural anaerobic bacteria into becoming aerobic bacteria. In doing so the aerobic bacteria can be used in the next process to consume chemical waste and prevent the water from developing an odor when reused. This water, once aerated, is then pumped up into the equipment room by means of vortex pumps to be run through hydro cyclones.

### CYCLONIC SEPARATION

The water that's pumped from the aeration tank is sent through hydro cyclones which cyclonically separate any remaining solids down to 5 micron. The separated solids are sent back to the first settling tank where they are collected for haul away. The cleaned water is then sent to the bio tank for the removal of chemicals.

*See reverse side for an explanation of the treatment process.*

# BIO-PRO COMPLETE "WATER RESTORATION SYSTEM"



## BIOLOGIC CONSUMPTION

There are several things going on in the bio chamber with the first being additional aeration. Aeration insures that the bacteria that will be grown in this tank are aerobic. Aerobic bacteria are 90 percent more aggressive in consuming waste in the water than anaerobic bacteria are. These aerobic bacteria attach to the bio media which fill the bio tank. With the bio tank filled with bio media, the water containing the used vehicle wash chemicals will come in contact with the active bacteria whereby the bacteria will consume the chemicals from the water. The byproduct of this natural consumption of chemicals by the bacteria will be CO<sub>2</sub> and H<sub>2</sub>O which is nonhazardous.

## CLARIFICATION

In the clarification chamber the bio sludge coming from the bio chamber is allowed to settle to the bottom of this tank so that it can be pumped to sewer once a day.

## CLEAN WATER HOLDING TANK

After the clarification tank, the water gravity overflows into the clean water tank where it's stored for reuse in the vehicle wash. In a biologic water restoration system, the water needs to continuously circulate so that the natural bacteria are always in the presence of aeration to keep the bacteria aerobic. If the vehicle wash is closed or is not washing vehicles the bio -system switches into an energy saving mode which turns off most all higher horsepower pumps and turns on a recirculation pump that pumps the water from the clean water tank back into the bio chamber to start the process over again. This energy-saving mode reduces the power consumption by 75 percent.



## WATER QUALITY EXPECTATION

When using the Bio-Pro Complete Water Restoration System the restored water should reach the water quality levels shown below:

- Oxygen levels higher than 60%
- Oil emulsion levels of less than 5 ppm
- PH levels between 6.5 – 8.0
- COD reduction to 1:10
- BOD levels less than 150 mg/l

As for the overall TDS levels, these levels can vary based on the level in the incoming city water. Variations can also be found in the winter when salts and de-ice chemicals are used on the roads.

The turbidity may change based on the amount of dye remaining in the water which has come from colored foam chemicals used. Dyes are biodegradable but will take more time to break down than wash chemicals. The water may have a slight tint of green or blue but this coloration will not impact the performance of the water when reused.

## SYSTEM CONFIGURATIONS

The Bio-Pro Complete Water Restoration System can be installed in the following configurations:

- **Above Ground** where equipment room space is available
- **Below Ground** in either concrete or fiberglass tanks

## CAPACITY SIZES

Water restoration systems can be custom-built to any capacity or they come standard in sizes of 3,000 – 4,000 – 6,000 – 10,000 and 20,000 gallon per hour. Larger sizes can be designed and built to order.

## SIZING SYSTEMS

When sizing a water restoration system it's important that the following is known:

- Maximum gallons of water used per vehicle
- Maximum number of vehicles that can be washed per hour, per wash bay
- The maximum amount of chemicals used per vehicle wash

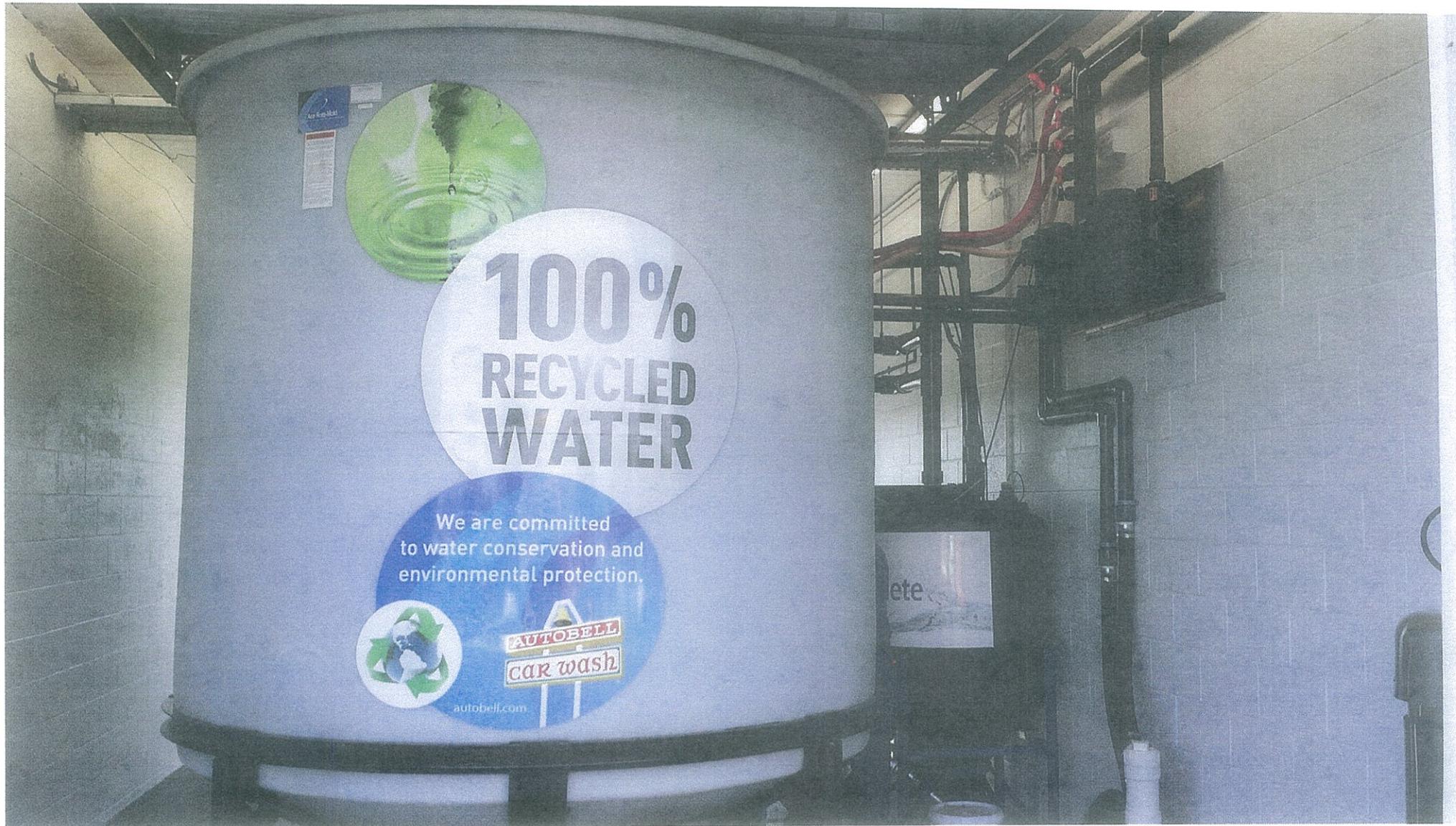
AQUA BIO TECHNOLOGIES, LLC.

3730 Sleeth Road  
Commerce, MI 48382  
Ph (248) 529-3404  
Fax (248) 684-4070  
Email [info@aquabio.co](mailto:info@aquabio.co)  
Web [www.aquabio.co](http://www.aquabio.co)

EXAMPLE OF BIO PRO COMPLETE SYSTEM AND INSTALLATION



BIO COMPLETE SYSTEM

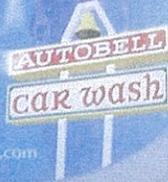


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to water conservation and  
environmental protection.



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FIBERGLASS TANK INSTALLATION



SETTLING TANK INSTALLATION

EXAMPLE OF BUILDING FINISHES





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FIRE LANE NO PARKING TOW AWAY ZONE



WASHWORLD

IDEALLEASE

FIRE LANE NO PARKING TOW AWAY ZONE

FIRE LANE NO PARKING TOW AWAY ZONE



May 9, 2016

Ms. Nancy Cain, City Administrator  
CITY OF GARDEN RIDGE  
9400 Municipal Parkway  
Garden Ridge, Texas 78266

**RE: Garden Ridge Center Convenience Store  
Rezoning Request and Master Development Plan Review Comments**

Dear Ms. Cain:

River City Engineering has reviewed the subject rezoning request from Residence – Agricultural (RA) to Commercial – Neighborhood Service District (B-1) for the Garden Ridge Center Convenience Store and no conflicts were identified within the City of Garden Ridge Ordinance #13.

We offer the following comments on the Master Development Plan:

1. Water service will be provided by connection to the City of Garden Ridge watermain across FM 2252. This connection will need to be sized to meet the fireflow requirements of the development and provide adequate easements for future expansion of the watermain along Nacogdoches Road.
2. Sewer and car wash requirements will need to be coordinated with Comal County. Copies of all documents provided to the County and their correspondence shall be provided to the City of Garden Ridge for review and filing.
3. Coordinate right-of-way dedication or reservation with TxDOT. All water/sewer easements shall be outside of the proposed right-of-way expansion, if any.
4. The City will require 20-foot utility easements for water/wastewater utilities along FM 2252 and Nacogdoches Road.
5. Provide water use estimates for this development based on projections and historical data.
6. Provide proposed impervious cover calculation percentages for the development.

Feel free to contact our office with any questions regarding this project.

Sincerely,

  
Garry Montgomery, P.E.  
River City Engineering, PLLC





June 6, 2016

Ms. Nancy Cain  
City of Garden Ridge  
City Administrator  
9400 Municipal Parkway  
Garden Ridge, Texas 78266-2366

Re: Garden Ridge Center Convenience Store (Planning & Zoning Supplemental Discussion Minutes)

Dear Ms. Cain:

During the May 10, 2016 Planning and Zoning Commission Meeting several questions were asked by the commission that were discussed in depth, resulting in additional follow up. The attached narrative below addresses the questions raised at this meeting.

**1) Proposed hours of operation:**

The anticipated hours of operation are from 6am to 12am (midnight) – 18 hours.

**2) Site / Parking Lighting:**

Our client intends to install site and building lighting with LED Lighting Fixtures (manufactured by LSI Industries and/or CREE). The benefits of using LED lights are better lighting at a fraction of the energy resulting in cost savings and longer life span of LED bulbs.

**3) Parking Ratios:**

The Off-Street Parking Requirement ratios of Zoning Ordinance Table 1 were followed to allocate the minimum parking requirements for this project as outlined below:

BUILDING USE	FLOOR AREA	RATIO REQUIRED	PARKING REQUIRED	PARKING PROVIDED
Fast Food Facility	1,200 SF	1 space per 100 SF	12	12
Convenience Store	5,000 SF	1 space per 200 SF	25	25
Retail Space	1,500 SF	1 space per 200 SF	8	8
Car Wash	960 SF	n/a	n/a	n/a
		<b>TOTAL</b>	<b>45</b>	<b>45</b>

**4) How will the Carwash bio sludge be removed as there is no sewer service available? Will it be removed daily? What will the tank storage size be and how many cars will this car wash facility be able to accommodate?**

The Aqua Bio Technologies Brochure information previously submitted had a section under the Clarification Process which raised the question of bio sludge removal frequency. The brochure assumes that sewer service is readily available; however, since this is a reclaim system it does not require connection to sewer service nor septic. The manufacture of the system indicated that the term "Bio Sludge," as most commonly referenced/understood, should be reclassified as "Biologically Friendly." The bacteria in the biological tank aggressively consumes the chemicals and impurities from the car wash water. The byproduct of the bacteria consuming the chemicals is CO<sub>2</sub> and H<sub>2</sub>O.

The bacteria that is no longer consuming the chemicals dies and turns to ash (dead bacteria). As the closed reclaim system has a cycle process that returns water into the various chambers, this dead ash is continually broken apart. The manufacture advised that it would take two (2) months of continued use (max car load washes every hour in a day) to accumulate 1" of ash. The manufacture advised that not removing the ash from the Clarifier Tank is an allowable option. Daily removal of the ash is not anticipated, but skimming the tank for removal of the ash can be completed during the maintenance period for the car wash equipment.

The proposed reclaim water restoration system capacity is planned to be 4,000 gallons for this drive-through single bay car wash. Based upon the proposed car wash equipment including the cycle time for a minimal car wash (approx. 5 mins) would allow a maximum of 12 cars to be washed an hour.

**5) Will a Vacuum Station be installed near the 2 parking spots adjacent to the multi-tenant sign?**

A Proposed Vacuum Station will be installed with this development. The exact location has not yet been determined. The spot near the multi-tenant sign or near the head-in parking adjacent to the car wash building are the most likely locations due to the proximity of electrical service.

**6) What business will occupy the fast food facility?**

Presently the proposed fast food tenant is to be Subway.

**7) When will variances be submitted for this project?**

The proposed variances associated with the development of this tract have been submitted to the City of Garden Ridge as of June 6, 2016. The variances include:

- Ordinance Section 6.2.4.4 Rear Yard: Alley Right-of-Way
- Ordinance Section 6.2.4.5 Impervious Cover: Not greater than 1/3 (33.33%)

**8) What is the septic sizing and drain field?**

A preliminary sizing of the Septic Tank and drain field based on the Texas Commission on Environmental Quality (TCEQ), Chapter 285, On-Site Sewer Facilities (OSSF) requirements has been calculated. The sizing requirement is based on 4 washrooms for the entire site. With a total usage rate of 800 gal/day, a 2,000 gallon septic tank is necessary. The required

drain area is 8,000 square feet. Based on a 3 ft. wide trench, the total trench length is 1,600 ft. An 80 ft. X 20 ft. area can encompass the required leech area. The necessary offsets and/or separation distances as outlined by the TCEQ requirements will be met.

**9) Address of car wash that is using Washworld Profile Soft Touch system:**

Our client has built a similar convenience store and car wash on the west side of San Antonio. The name and address for this location is:

Food & Fuel Express  
15114 Potranco Road  
San Antonio, TX 78245

Additionally, a site located in McQueeney, Texas utilizes the same Car Wash Equipment. The gas station and car wash facility are connected to a septic system. The name and address for this location is:

Pic N Pac  
9336 FM 725  
McQueeney, TX 78123

**10) What TCEQ requirements are being followed for this development?**

This site lies within the Contributing Zone of the Edwards Aquifer. A car wash and gas station is an allowable use within this zone. An Underground Storage Tank (UST) submittal will be required for the proposed underground storage tanks for the Fuel Tanks, Water Tanks, and Reclaim Water System for the Car Wash Facility. As construction plans are prepared, a formal submission to TCEQ for the UST will be completed. A Water Pollution Abatement Plan will not be required, but Contributing Zone Plan (CZP) will be required by TCEQ as a notification for the proposed Erosion Control measures for this construction project. This submission will also occur after construction plans are created.

We appreciate your time and consideration in this matter. Should additional information be required, please contact our office.

Sincerely,  
KFW Engineers

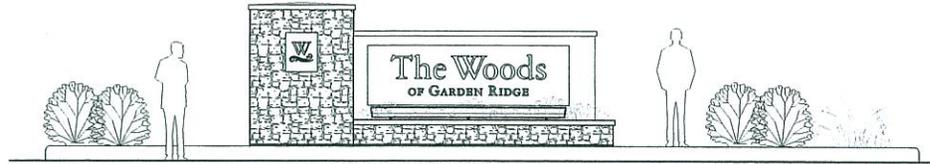


Andrew J. Barboza, P.E.  
Project Engineer

Enclosures

# MONUMENTS FOR GARDEN RIDGE SUBDIVISION

MISTY ARBOR ST.  
GARDEN RIDGE, TX 78266



ENTRANCE MONUMENT FOR GARDEN RIDGE SUBDIVISION

Misty Arbor St.  
Garden Ridge, TX  
78266

REVISIONS

INDEX	SHEET NO.
<b>DESCRIPTION</b>	
<b>CIVIL</b>	
KRU ENGINEERS & SURVEYING 14609 HEBNER RD. BLDG. 40 SAN ANTONIO, TX 78230 710.973.8444 ph	
CONTACT: TORRY HURT, P.E.	
N/A	
<b>STRUCTURAL</b>	
SPAILDING STRUCTURAL ENGINEERING, INC. 10355 SANZAGHI RD. STE 307 SAN ANTONIO, TX 78230 710.793.1897 ph	
CONTACT: CHESTER L. SPAILDING III, P.E.	
<b>FOUNDATION PLANS</b>	S1
<b>STRUCTURAL DTL'S</b>	S2
<b>ARCHITECTURAL</b>	
LUNA ARCHITECTURE + DESIGN 879 W. BITTERS RD. SUITE 101 SAN ANTONIO, TX 78266 710.496.6411 ph 710.496.6490 fax	
CONTACT: JOSE YANEZ	
<b>COVER SHEET</b>	CS1.1
<b>OVERALL SITE PLAN</b>	A0.1
<b>ENLARGED SITE PLAN - MISTY ARBOR ENTRANCE</b>	A0.2
<b>ENLARGED MONUMENT PLAN AND DETAILS</b>	A2.1
<b>WALL SECTIONS</b>	A4.1
<b>LANDSCAPING</b>	
BEST LANDSCAPES 3400 NACOGDOCHES, BLDG. 6 SAN ANTONIO, TX 78211 710.993.2600 ph	
CONTACT: LANCE EICHMOLTZ, TCLP #148 CONTACT: LAURIE CASAS, LP #240	
<b>LANDSCAPING &amp; IRRIGATION PLAN</b>	001

GENERAL CONSTRUCTION NOTES
<p>1. CONTRACTOR IS ADVISED TO VISIT THE EXISTING SITE AND VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS BEFORE COMMENCING WORK FOR THE PURPOSES OF DETERMINING THE EXTENT OF DISCREPANCIES, PATCHING, REPAIRING AND NEW WORK REQUIRED BY THE DRAWINGS OR SPECIFIED HEREIN AND TO MARKED HEREON WITH THE CONDITIONS UNDER WHICH HE MUST WORK. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY NOTED DISCREPANCIES. NO ADDITIONAL COMPENSATION WILL BE ALLOWED BY THE OWNER AS AN EXTRA FOR WORK SAID, SPECIFIED, IMPLIED, AND REQUIRED DUE TO THE SEQUENCE OF WORK FOR THE REASONS OF CONSTRUCTION. ANY PATCHING REQUIRED AS NECESSARY DUE TO THE SCOPE OF RENOVATION OR NEW WORK SHALL ALSO BE AT NO EXTRA COST.</p> <p>2. CONTRACTOR SHALL MODIFY, REMOVE AND/OR RELOCATE ALL MATERIALS AND ITEMS INDICATED ON THE DRAWINGS OR REQUIRED BY THE INSTALLATION OF NEW FACILITIES.</p> <p>3. CONTRACTOR SHALL BE RESPONSIBLE FOR EVALUATING ALL EXISTING SITE CONDITIONS INCLUDING LOCATIONS OF EXISTING UTILITIES.</p> <p>4. <b>PARKING:</b> PARKING BY CONTRACTOR'S WORKERS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL HOLD THE OWNER &amp; ARCHITECT HARMLESS FOR ANY VEHICLE EQUIPMENT AND MATERIALS NOT PROPERLY SECURED ON AND OFF OF THE SITE.</p> <p>5. <b>STORAGE:</b> CONSTRUCTION MATERIALS MAY BE STORED WITHIN THE CONSTRUCTION AREA AS DESIGNATED BY THE OWNER. EXITS SHALL REMAIN CLEAR AT ALL TIMES. AT NO TIME SHALL CORRIDORS, EXIT WAYS OR EXIT DOORS BE BLOCKED OR OBSTRUCTED BY STORED MATERIALS. FLOORS WITHIN THE BUILDING WHERE MATERIALS ARE STORED SHALL BE PROTECTED WITH 1/2" THICK WOOD SHEETS. REPAIR ANY DAMAGE TO EXISTING FLOORS DUE TO MATERIALS STORAGE AT NO EXPENSE TO THE OWNER. IN NO CASE SHALL STORED MATERIALS BE ALLOWED TO EXCEED 10 LBS. PER SQ. FT. OF FLOOR AREA.</p> <p>6. <b>TRAFFIC CONTROL:</b> BARRICADES AND WARNING SIGNS SHALL CONFORM TO THE TEXAS MANUAL ON INHERENT TRAFFIC CONTROL DEVICES AND GENERALLY BE LOCATED TO AVOID HAZARD TO PROTECTION TO THE PUBLIC AS WELL AS CONSTRUCTION PERSONNEL AND EQUIPMENT AND TO ASSURE AN EXPEDITIOUS TRAFFIC FLOW AT ALL TIMES DURING CONSTRUCTION. DURING THE PROGRESS OF THE WORK THE CONTRACTOR SHALL PROVIDE ACCESS FOR LOCAL TRAFFIC.</p> <p>7. ALL SITE AREAS DISTURBED BY NEW CONSTRUCTION ARE TO BE RETURNED TO ORIGINAL CONDITION UNLESS OTHERWISE NOTED.</p> <p>8. CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE CONSTRUCTION OF THE PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO WORKING HOURS AND THAT THE CONTRACTOR SHALL DEFEND, REPAIR AND HOLD THE OWNER, ARCHITECTS, AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF THE WORK ON THIS PROJECT EXCEPTING FROM LIABILITY ARISING FROM SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.</p> <p>9. <b>EXTENT OF WORK:</b> THE INFORMATION INCLUDED ON THESE DRAWINGS DEFINES THE EXTENT OF WORK FOR THIS PROJECT. OTHER INCIDENTAL WORK MAY BE REQUIRED TO EXECUTE THE PROJECT THAT IS NOT SHOWN ON THE DRAWINGS (I.E. WORK IN THE BUILDINGS DESIGNATED ELECTRICAL ROOMS TO MODIFY AN ELECTRICAL PANEL BOARD THAT SUPPORTS THE PROJECT) ALL OTHER WORK IS SPECIFICALLY EXCLUDED. AMERICANS WITH DISABILITY ACT (ADA) SAFETY ISSUES ASSOCIATED WITH AREAS OUTSIDE OF THE WORK AREA OR FOR THE REMAINDER OF THE BUILDING WHICH MAY IMPACT THE WORK OF THIS PROJECT WILL BE HANDLED BY THE OWNER AS A SEPARATE PROJECT.</p> <p>10. <b>COORDINATION:</b> EXTENSIVE DETAILS AND SPECIFICATIONS ARE NOT PROVIDED FOR ALL ITEMS OF WORK CONTRACTOR SHALL COORDINATE WITH OWNER ANY ITEMS REQUIRING ADDITIONAL CLARIFICATION SUCH ITEMS INCLUDE FINISHES, DOORS/HARDWARE, ELECTRICAL CIRCUITING, AND OTHER MECHANICAL AND SECURITY DEVICES.</p> <p>11. <b>PROTECTION:</b> CONTRACTOR SHALL PROTECT ALL EXISTING SITE IMPROVEMENTS AND ADJACENT PROPERTY THAT IS TO REMAIN. CONTRACTOR IS LIABLE FOR ANY DAMAGES TO THE EXISTING IMPROVEMENTS.</p> <p>12. <b>CLEANUP:</b> SITE AND WORK AREA SHALL BE KEPT CLEAR OF ALL DEBRIS AND TRASH AT ALL TIMES. DO NOT ALLOW DEBRIS TO ACCUMULATE. CLEAN UP SHALL BE DONE DAILY.</p> <p>13. <b>SECURITY:</b> CONTRACTOR IS RESPONSIBLE FOR SECURING THE BUILDING AGAINST INTRUSION AND EMBEZZLEMENTS DURING THE DURATION OF CONSTRUCTION.</p> <p>14. <b>CODES:</b> ALL WORK SHALL BE DONE IN COMPLIANCE WITH LOCAL CODES AND REGULATIONS.</p>
<p>15. <b>BUILDING STANDARDS:</b> UNLESS NOTED OTHERWISE ON THE DRAWINGS, ALL PRODUCTS, MATERIALS, DEVICES, FINISHES AND EQUIPMENT SHOWN TO BE PROVIDED AS PART OF THIS PROJECT SHALL BE NEW.</p> <p>16. <b>DEMOLITION:</b> ALL DEMOLITION THAT TAKES PLACE MUST ACCOMMODATE THE NEW WORK DESIGN LAYOUT. CONTRACTOR TO VERIFY, PRIOR TO BEGINNING WORK, ANY ADDITIONAL.</p> <p>17. <b>DIMENSIONS:</b> ALL DIMENSIONS SHOWN ARE BASED ON EXISTING CONDITIONS UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY THESE DIMENSIONS WITH ACTUAL CONDITIONS. THE CONTRACTOR SHALL LAY OUT ALL NEW CONSTRUCTION TO COORDINATE THESE DIMENSIONS WITH ACTUAL CONDITIONS. DIMENSIONS (1) DIMENSIONS ARE PROVIDED WHERE CONSTRUCTION TOLERANCE OF LESS THAN 2 INCHES IS ALLOWED. IF ACTUAL JOBSITE DIMENSION IS 2 INCHES GREATER OR 2 INCHES LESS THAN DIMENSION SHOWN ON PLANS, CONSULT ARCHITECT PRIOR TO INSTALLATION OF NEW WALLS. DO NOT SCALE THESE DRAWINGS WITHOUT REFERENCE TO THE DIMENSIONS. DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD, UNLESS OTHERWISE NOTED.</p> <p>18. <b>EXTERIOR STUD FRAMING</b> IS TO BE METAL STUDS @ 16" O.C. UNLESS NOTED OTHERWISE.</p> <p>19. <b>CONTROL JOINTS:</b> CONTROL JOINTS SHALL BE PROVIDED IN GYPSUM BOARD SURFACES WHERE ANY OF THE FOLLOWING CONDITIONS EXIST: A) A WALL, PARTITION OR CEILING TRAVERSES A CONSTRUCTION JOINT (EXPANSION, SEISMIC OR BUILDING CONTROL ELEMENT) IN THE BASE BUILDING STRUCTURE. B) WHERE A WALL OR PARTITION RUNS IN AN UNINTERRUPTED STRAIGHT PLANE EXCEEDING 30 LINEAL FEET. NOTE THAT A FULL HEIGHT DOOR FRAME MAY BE CONSIDERED A CONTROL JOINT. CONTROL JOINTS SHALL BE EQUALLY SPACED ALONG LENGTHS EXCEEDING 30 FEET, AND SHALL BE LOCATED AT DOOR JAMBS WHERE PRACTICAL. C) AT CEILING, INSTALL CONTROL JOINTS IN AREAS EXCEEDING 2500 SQ. FT. SPACE CONTROL JOINTS NOT MORE THAN 10 FEET O.C. INSTALL CONTROL JOINTS WHERE CEILING FRAMING OR FURRING CHANGES DIRECTION.</p> <p>20. <b>DOORS:</b> ALL NEW DOORS ARE TO BE 3'-0" WIDE X BUILDING STANDARD HEIGHT AND TYPE, OR AS SCHEDULED.</p> <p><b>DOOR HARDWARE:</b> CONTRACTOR TO PROVIDE BUILDING STANDARD HARDWARE SETS FOR EACH TYPE OF DOOR FUNCTION. DOOR HARDWARE, HANDLES, KNOBS, PULLS, LATCHES, LOCKS, AND OTHER OPERATING DEVICES SHALL BE FINISHED NO HIGHER THAN 48 INCHES ABOVE THE FLOOR AND SHALL HAVE HANDICAPPED ACCESSIBLE LEVER HANDLE HARDWARE UNLESS OTHERWISE NOTED. THE FORCE REQUIRED TO ACTIVATE DOOR HARDWARE SHALL BE NO GREATER THAN 5 LBF. OTHER ALLOWABLE HARDWARE DESIGNS INCLUDE, BUT ARE NOT LIMITED TO, PUSH-TYPE MECHANISMS, AND U-SHAPED HANDLES. INSTALL THESE ONLY WHEN SCHEDULED. WHEN SLUNG DOORS ARE FULLY OPEN OPERATING HARDWARE SHALL BE EXPOSED AND USABLE FROM BOTH SIDES. PROVIDE DOOR CLOSER AT DOORS TO ALL UNSEX TOILETS AND BATHROOMS.</p> <p><b>DOOR CLOSERS:</b> IF A DOOR IS SCHEDULED TO HAVE A CLOSER, THE SLEEP PERIOD OF THE CLOSER SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE DOOR WILL TAKE THREE SECONDS (MIN) TO MOVE TO AN OPEN POSITION OF APPROXIMATELY 0 DEGREES.</p> <p><b>DOOR OPENING FORCE:</b> THE MAXIMUM FORCE FOR PUSHING OR PULLING OPEN A DOOR SHALL COMPLY WITH THIS PARAGRAPH. FOR HINGED DOORS, THE FORCE SHALL BE APPLIED PERPENDICULAR TO THE DOOR AT THE HINGE, OR 30 INCHES FROM THE HINGED SIDE (WHICHEVER IS FARTHER FROM THE HINGE).</p> <p>(A) EXTERIOR HINGED DOORS SHALL NOT EXCEED 8 1/2 LBF. SLIGHT INCREASES IN OPENING FORCE SHALL BE ALLOWED WHERE 8 1/2 LBF IS INSUFFICIENT TO COMPENSATE FOR AIR PRESSURE DIFFERENTIALS.</p> <p>(B) FIRE DOORS MAY BE ADJUSTED TO MEET THE FINISH OPENING FORCE ALLOWED BY THE GOVERNING AUTHORITY OR APPLICABLE BUILDING CODE.</p> <p>21. <b>CONTROLS AND OPERATING MECHANISMS:</b> (A) GENERAL: ALL CONTROLS AND DEVICES HAVING MECHANICAL OR ELECTRICAL OPERATING MECHANISMS WHICH ARE EXPECTED TO BE OPERATED BY OCCUPANTS, VISITORS, OR OTHER USERS OF A BUILDING OR FACILITY, SHALL COMPLY WITH EQUAL DEPARTMENT OF LICENSING AND REGULATIONS (TD.L.R.) FOR HEIGHT AND REACH REQUIREMENTS. (B) HEIGHT: THE HIGHEST OPERABLE PART OF ALL CONTROLS, DISPENSERS, RECEPTABLES AND OTHER OPERABLE EQUIPMENT SHALL BE PLACED AT 48 INCHES AFF. EXCEPT WHERE OTHERWISE NOTED. ELECTRICAL AND COMMUNICATIONS SYSTEM RECEPTABLES ON WALLS SHALL BE MOUNTED 18 INCHES ABOVE THE FLOOR TO THE TOP OF THE DEVICE. (C) OPERATION: CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PULLING, OR TWISTING OF THE USE OF THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5.0 LBF.</p>

CoSA CURRENT BUILDING CODES	
2009 INTERNATIONAL BUILDING CODE	2009 INTERNATIONAL FUEL GAS CODE
2009 INTERNATIONAL EXIST. BUILDING CODE	2009 INTERNATIONAL FIRE CODE
2009 INTERNATIONAL MECHANICAL CODE	2009 INTERNATIONAL ENERGY CONSERVATION CODE
2009 INTERNATIONAL PLUMBING CODE	

## BUILDING CODE DATA

OCCUPANCY GROUP: N/A  
TYPE OF CONSTRUCTION: V-B  
ACCESSIBILITY FOR THE PHYSICALLY HANDICAPPED:  
ALL AREAS AND LEVELS MADE ACCESSIBLE PER CHAPTER 11 OF THE 2015 IBC AND TAG 2012 EDITION  
NUMBER OF STORIES: N/A  
OCCUPANT LOAD: N/A

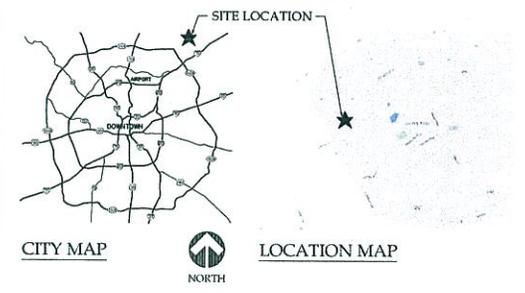
## SYMBOLS LEGEND

MARK	DESCRIPTION
	BUILDING SECTION KEY
	WINDOW KEY
	DOOR NUMBER KEY
	ELEVATION KEY
	DETAIL LOCATION KEY

## PROJECT DESCRIPTION

SUBDIVISION DEVELOPMENT PROJECT WITHIN CITY LIMITS OF GARDEN RIDGE, TX ON THE SOUTH END OF COMAL COUNTY. SCOPE OF WORK INCLUDES PERIMETER WALLS AND A SUBDIVISION ENTRANCE MARQUEE MONUMENT.

## LOCATION



PROJECT NUMBER  
1-1115-042

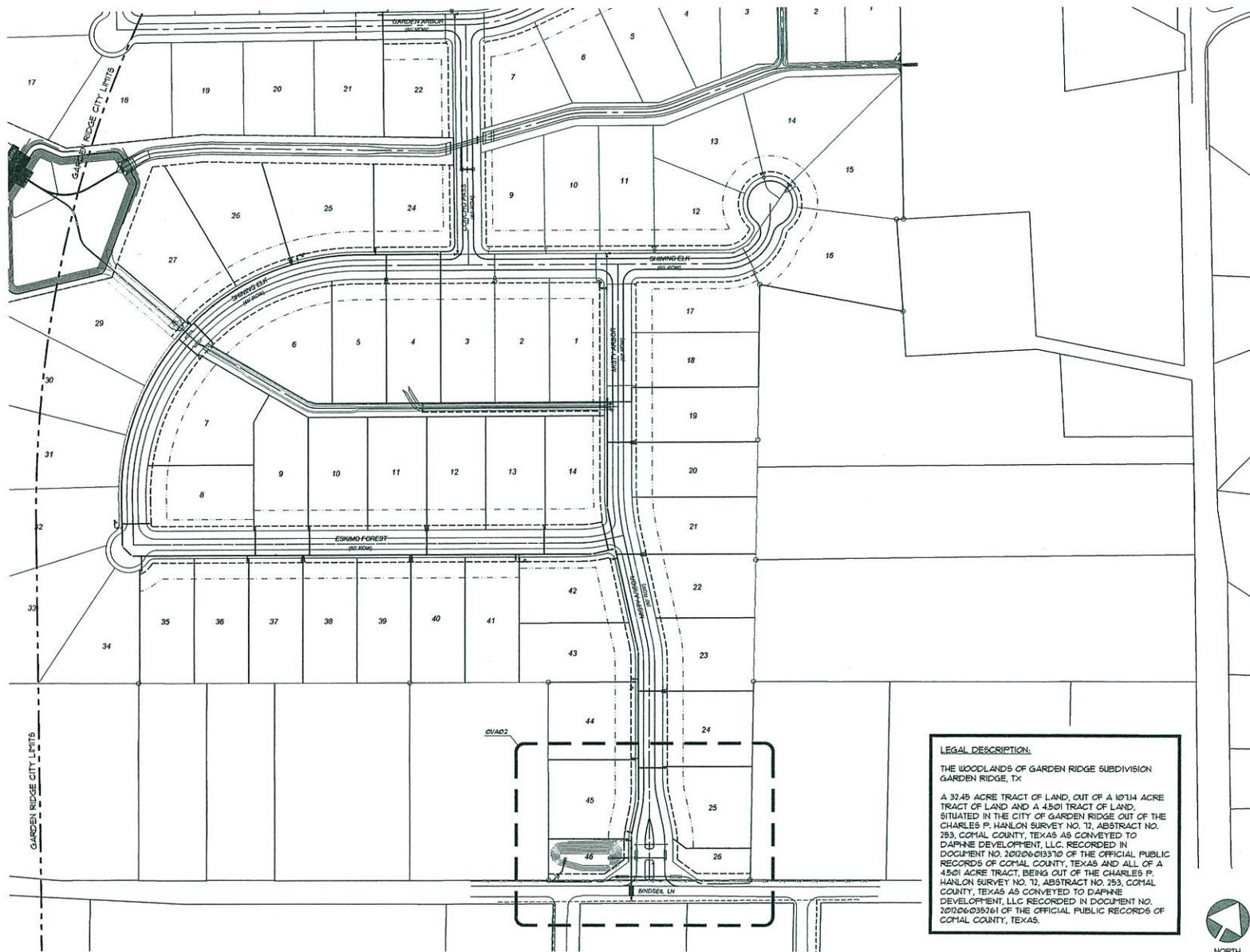
Drawn By: JMY  
Checked By: RL

Sheet Title:  
DRAWING INDEX/  
CODE ANALYSIS

Sheet Number:

# CS1.1

Issue Date:  
05/12/16



**LEGAL DESCRIPTION:**  
 THE WOODLANDS OF GARDEN RIDGE SUBDIVISION  
 GARDEN RIDGE, TX  
 A 33.45 ACRE TRACT OF LAND, OUT OF A 10714 ACRE  
 TRACT OF LAND AND A 4501 TRACT OF LAND,  
 SITUATED IN THE CITY OF GARDEN RIDGE OUT OF THE  
 CHARLES P. HANLON SURVEY NO. 12, ABSTRACT NO.  
 253, COMAL COUNTY, TEXAS AS CONVEYED TO  
 DAPHNE DEVELOPMENT, LLC, RECORDED IN  
 DOCUMENT NO. 201206-019370 OF THE OFFICIAL PUBLIC  
 RECORDS OF COMAL COUNTY, TEXAS AND ALL OF A  
 4501 ACRE TRACT, BEING OUT OF THE CHARLES P.  
 HANLON SURVEY NO. 12, ABSTRACT NO. 253, COMAL  
 COUNTY, TEXAS AS CONVEYED TO DAPHNE  
 DEVELOPMENT, LLC RECORDED IN DOCUMENT NO.  
 201206-035261 OF THE OFFICIAL PUBLIC RECORDS OF  
 COMAL COUNTY, TEXAS.

OVERALL SITE PLAN

SCALE: 1" = 100'-0"

01



1716 W. BITTERS KING  
 DALLAS, TEXAS 75243-1214  
 (214) 343-1100  
 WWW.LUNAARCHITECTURE.COM



**ENTRANCE  
 MONUMENT  
 FOR GARDEN  
 RIDGE  
 SUBDIVISION**

Misty Arbor St.  
 Garden Ridge, TX  
 78266

REVISIONS

PROJECT NUMBER  
 1-1115-042

Drawn By: JMY  
 Checked By: FL

Sheet Title:  
**OVERALL  
 SITE PLAN**

Sheet Number:

**A0.1**

Issue Date:  
 05/12/16







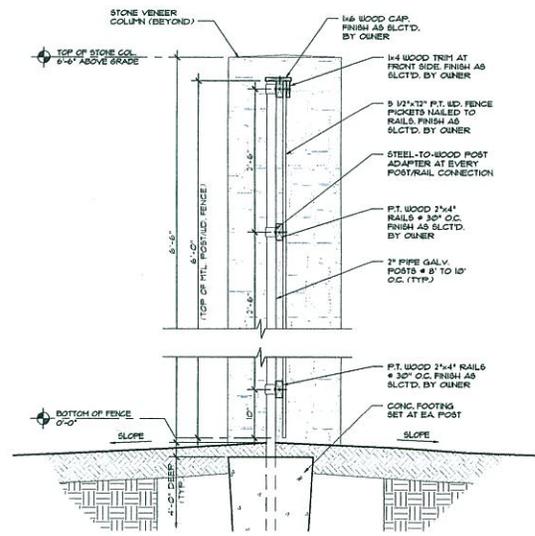
1724 W. BIRDAI 5101  
 LITTLE ROCK, AR 72205  
 512.344.1111 PHONE  
 512.344.1112 FAX  
 LUNAARCHITECTURE.COM



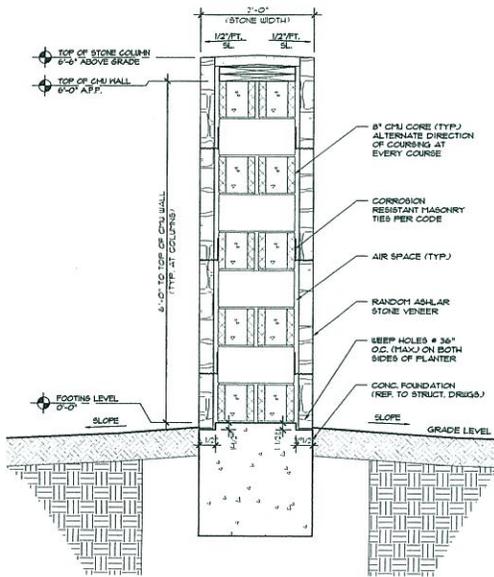
**ENTRANCE MONUMENT FOR GARDEN RIDGE SUBDIVISION**

Misty Arbor St.  
 Garden Ridge, TX  
 78266

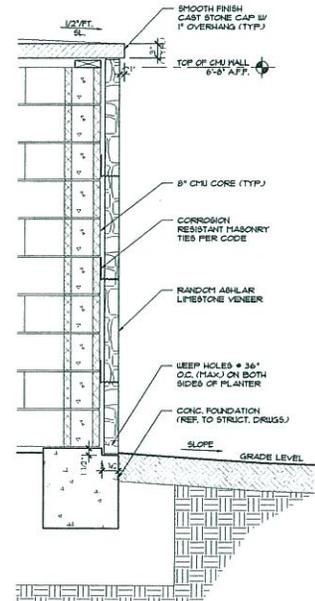
REVISIONS



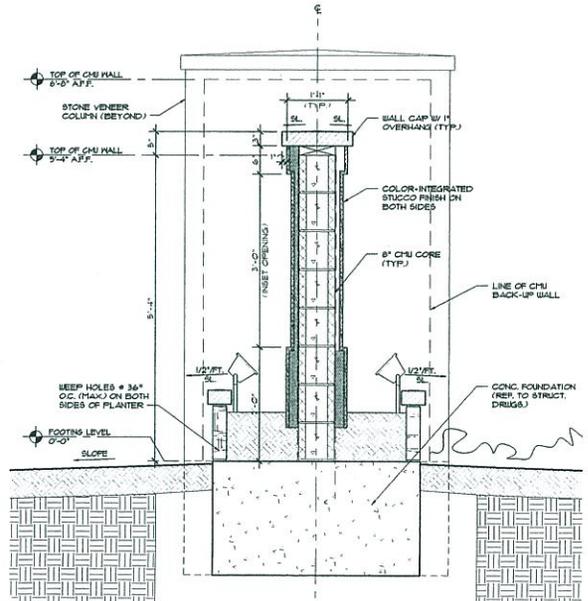
AT PERIPHER WALL  
**WOOD FENCE SECTION** SCALE: 1" = 1'-0" 04



AT PERIPHER WALL  
**STONE COLUMN SECTION** SCALE: 1" = 1'-0" 03



AT MONUMENT HARGEIE  
**STONE PYLON SECTION** SCALE: 1" = 1'-0" 02



AT MONUMENT HARGEIE  
**STUCCO WALL SECTION** SCALE: 1" = 1'-0" 01

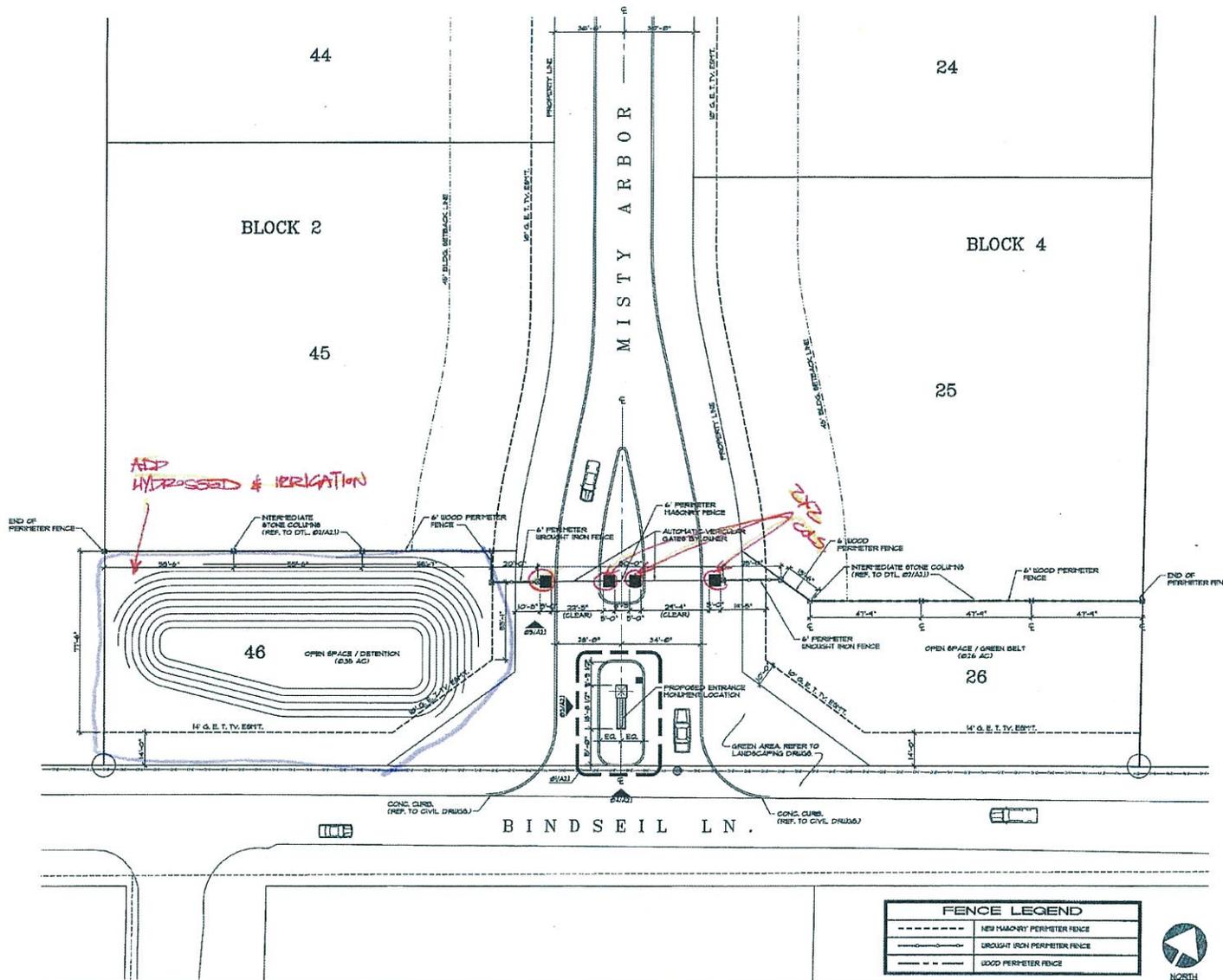
PROJECT NUMBER  
 1-1115-042

Drawn By: JMY  
 Checked By: RL

Sheet Title:  
**WALL SECTIONS**

Sheet Number:  
**A4.1**

Issue Date:  
 05/12/16



*ADD HYDROSSED & IRRIGATION*

*232 045*

FENCE LEGEND	
---	NEW MASONRY PERIMETER FENCE
—●—●—	ENGRAVED IRON PERIMETER FENCE
—	WOOD PERIMETER FENCE



ENTRANCE MONUMENT FOR GARDEN RIDGE SUBDIVISION

Misty Arbor St.  
Garden Ridge, TX  
78266

REVISIONS

PROJECT NUMBER  
1-1115-042

Drawn By: JMY  
Checked By: RL

Sheet Title:  
ENLARGED SITE PLAN - MONUMENT AT ENTRANCE

Sheet Number:

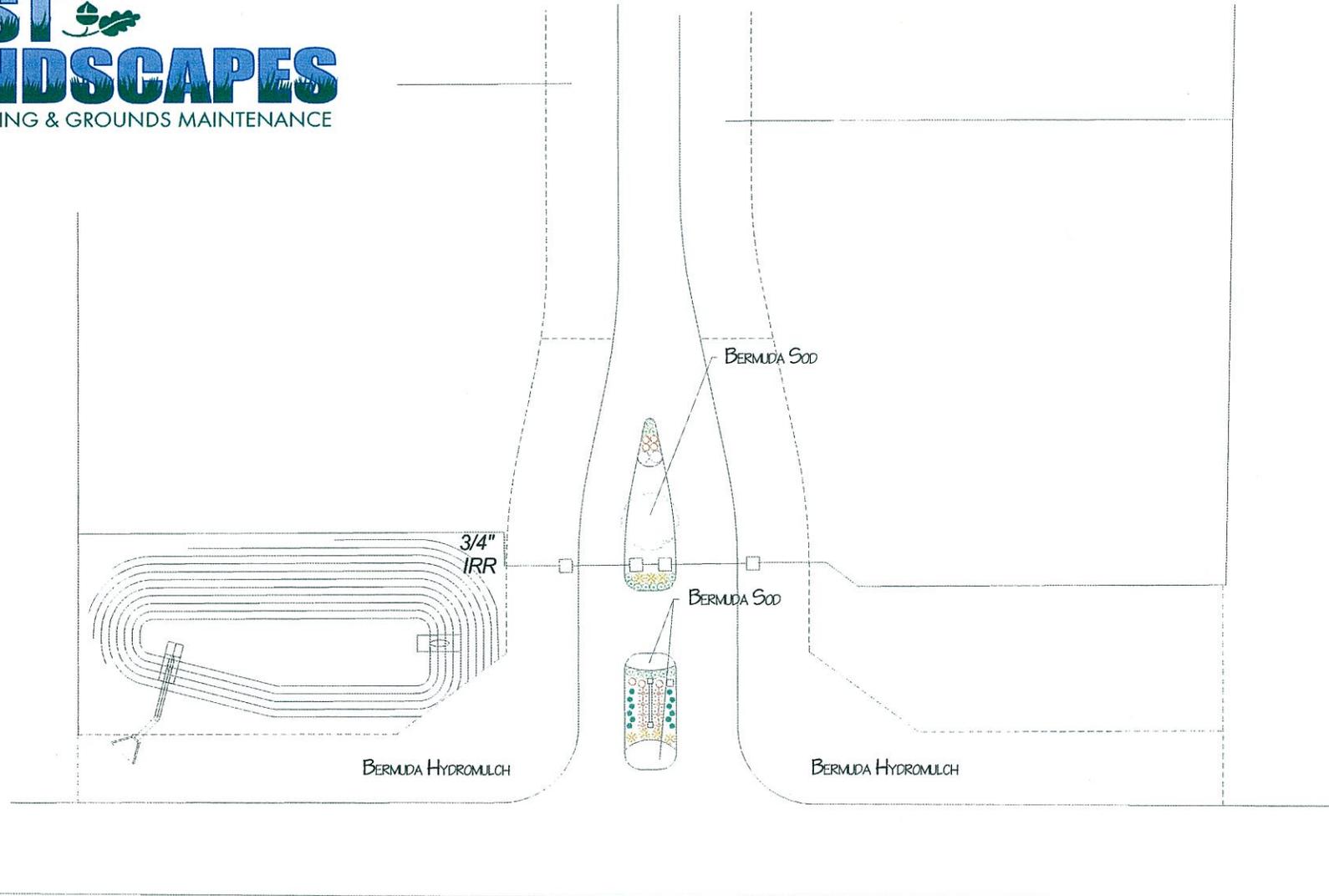
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Issue Date:  
01/21/16

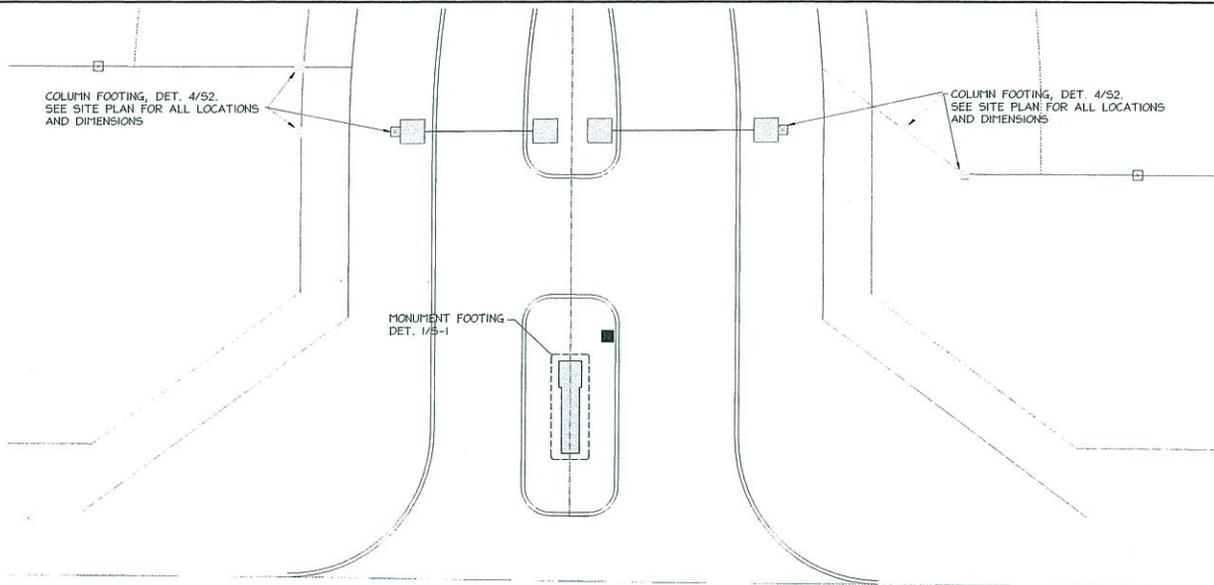
ENLARGED SITE PLAN - MONUMENT AT ENTRANCE

SCALE: 1" = 20'-0" 01

*JMY*

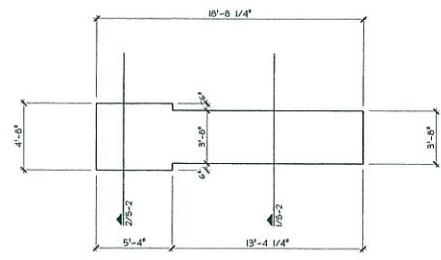


LEGEND					
COMMON NAME	SIZE	QTY	COMMON NAME	SIZE	QTY
GRASS, MAIDEN	5 GAL.	2	OAK, SHUMARD	45 GAL.	1
IRIS, BICOLOR	5 GAL.	7	SAGE, DWARF MEXICAN BUSH	5 GAL.	7
LANTANA, GOLD	1 GAL.	17	SKULLCAP	1 GAL.	12
SALVIA GREGGII, RED	5 GAL.	8			



BINDSEIL LN.

ENTRY-PLAN VIEW  
N.T.S.



MONUMENT FOOTING  
DETAIL 1



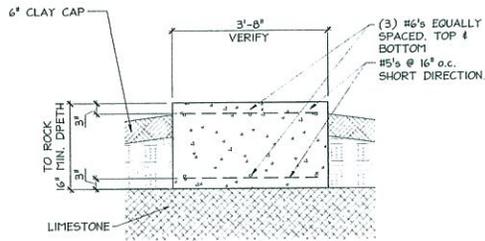
THE SEAL APPLICANT HAS BEEN DETERMINED TO BE QUALIFIED BY THE BOARD OF EXAMINERS TO PRACTICE AS A PROFESSIONAL ENGINEER IN THE STATE OF TEXAS.

**SSSE**  
Spaulding Structural Engineering  
10935 Wurzbach #302 San Antonio, Texas  
Phone 210-257-6513 REG. # F-10775

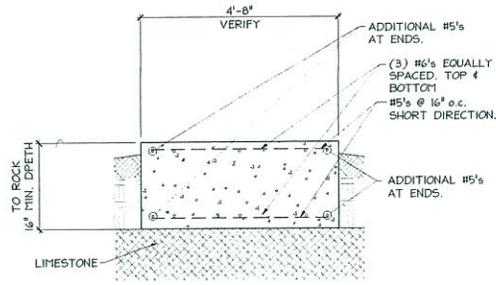
PROPOSED FOUNDATIONS FOR  
GARDEN RIDGE SUB'D  
MISTY ARBOR ST.  
GARDEN RIDGE, TEXAS  
FOUNDATION PLAN

DRAWN BY: CLS  
DATE: 1/18/2016  
SCALE: 1/4" = 1'  
REV: 5/12/2016

S1  
of 2



1 SECTION N.T.S.  
MONUMENT FOOTING



2 SECTION N.T.S.  
MONUMENT FOOTING

**MONUMENT FOOTING NOTES**

**A. GENERAL**

1. THESE FOOTINGS HAVE BEEN DESIGNED AS CONVENTIONALLY REINFORCED SLAB-ON-GRADE CONCRETE FOOTINGS. SOIL INFORMATION PROVIDED BY:

INTEC OF SAN ANTONIO  
PROJ. NO. 913192  
DATED JUNE 3, 2013  
# BORING 4 WAS CLOSEST TO THE PROJECT AREA.

2. IT IS THE RESPONSIBILITY OF THE BUILDER AND CONCRETE CONTRACTOR TO VERIFY ALL DIMENSIONS WITH THE ARCHITECTURAL PLANS.

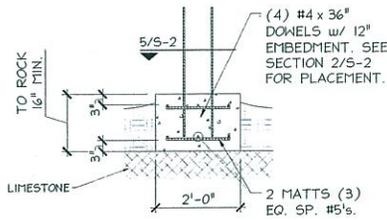
3. A PRE-POUR INSPECTION MUST BE PERFORMED ON THE FOUNDATION A MAXIMUM OF THREE DAYS BEFORE PLACEMENT OF CONCRETE. PERMISSION MUST BE GIVEN BY THE ENGINEER OR HIS REPRESENTATIVE PRIOR TO PLACEMENT OF CONCRETE.

**B. CONCRETE**

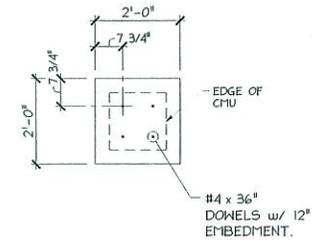
1. CONCRETE SHALL BE MINIMUM 3000 PSI AT 28 DAYS.
2. CONCRETE SLUMP: 5"

**C. REINFORCEMENT**

1. REINFORCEMENT: ASTM A-615, GRADE 60, UNLESS NOTED OTHERWISE.
2. STIRRUPS AND TIES: ASTM A-615, GRADE 40, UNLESS NOTED OTHERWISE.
3. ALL REINFORCEMENTS SHALL BE DESIGNED AND DETAILED IN ACCORDANCE WITH THE ACI "MANUAL OF STANDARD PRACTICES FOR DETAILING CONCRETE STRUCTURES" (ACI 315, LATEST ADDITION).
4. ALL LAPS AND SPLICES SHALL BE A MINIMUM OF 40 BAR DIAMETERS.
5. CONCRETE IN CONTACT WITH SOIL SHALL HAVE A MINIMUM REINFORCEMENT COVER OF 3-INCHES. CONCRETE EXPOSED TO AIR SHALL HAVE A MINIMUM COVER OF 1 1/2-INCHES.



4 SECTION 1/2"=1'-0"  
CMU/STONE COLUMN FOOTING



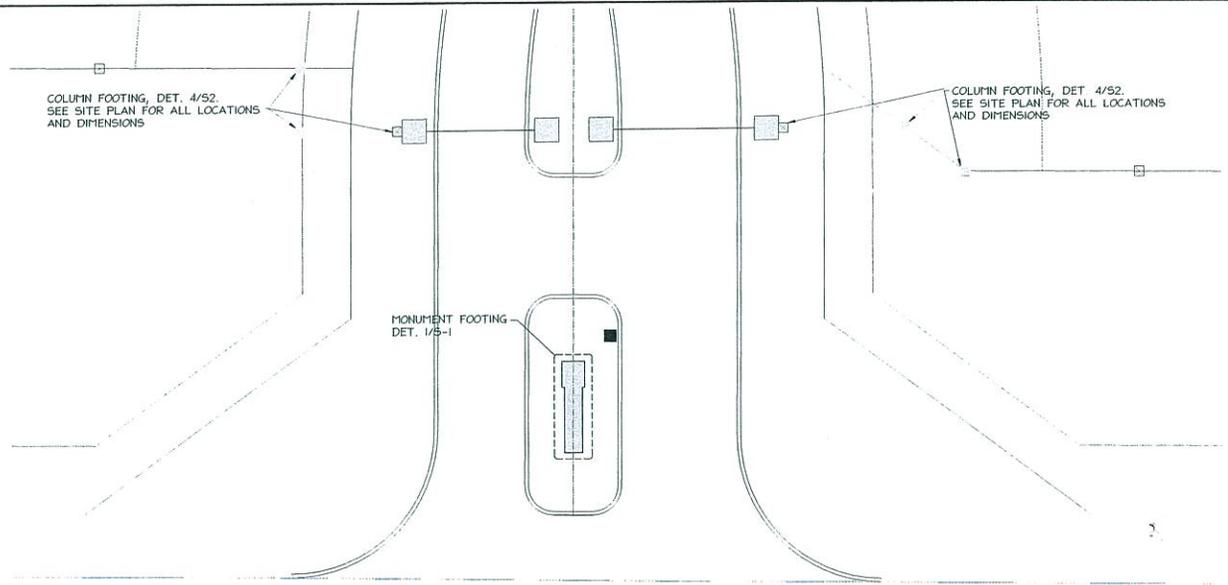
5 SECTION 1/2"=1'-0"  
(PLAN VIEW) COLUMN FOOTING



**SSE**  
Spaulding Structural Engineering  
10935 Wurzbach #302 San Antonio, Texas  
Phone 210-257-6513 REC. # F-10775

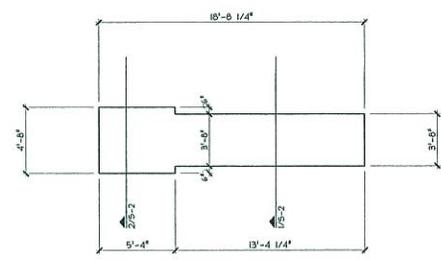
PROPOSED FOUNDATIONS FOR  
GARDEN RIDGE SUB'D  
MISTY ARBOR ST.  
GARDEN RIDGE, TEXAS  
FOUNDATION PLAN

DRAWN BY: CLS  
DATE: 1/18/2016  
SCALE: 1/4"=1'  
REV: 5/12/2016



BINDSEIL LN.

ENTRY-PLAN VIEW  
N.T.S.



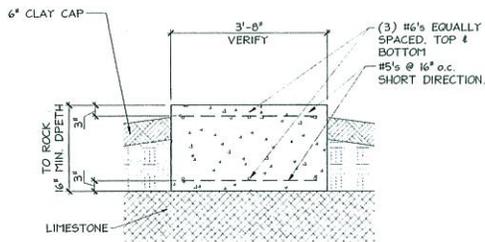
MONUMENT FOOTING  
DETAIL 1



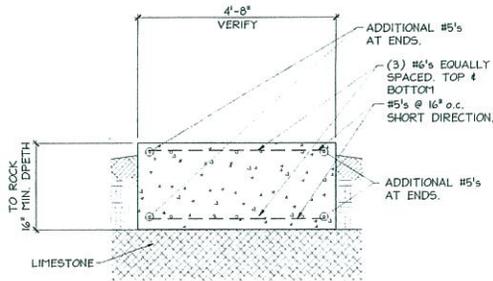
**SSE**  
Spaulding Structural Engineering  
10935 Wurzbach #302 San Antonio, Texas  
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PROPOSED FOUNDATIONS FOR  
GARDEN RIDGE SUB'D  
MISTY ARBOR ST.  
GARDEN RIDGE, TEXAS  
FOUNDATION PLAN

DRAWN BY: CLS  
DATE: 1/18/2016  
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1 SECTION N.T.S.  
MONUMENT FOOTING



2 SECTION N.T.S.  
MONUMENT FOOTING

**MONUMENT FOOTING NOTES**

**A. GENERAL**

1. THESE FOOTINGS HAVE BEEN DESIGNED AS CONVENTIONALLY REINFORCED SLAB-ON-GRADE CONCRETE FOOTINGS. SOIL INFORMATION PROVIDED BY:

INTEC OF SAN ANTONIO  
PROJ. NO. 5191R2  
DATED JUNE 3, 2013  
\* BORING 4 WAS CLOSEST TO THE PROJECT AREA.

2. IT IS THE RESPONSIBILITY OF THE BUILDER AND CONCRETE CONTRACTOR TO VERIFY ALL DIMENSIONS WITH THE ARCHITECTURAL PLANS.

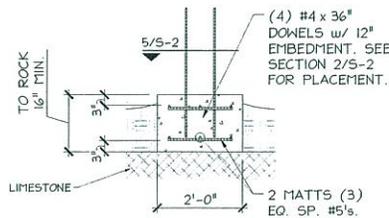
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**B. CONCRETE**

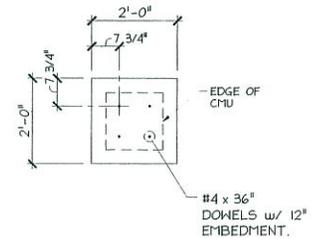
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4 SECTION 1/2"=1'-0"  
CMU/STONE COLUMN FOOTING



5 SECTION 1/2"=1'-0"  
(PLAN VIEW) COLUMN FOOTING



**Spaulding Structural Engineering**  
10935 Wurzbach #302 San Antonio, Texas  
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PROPOSED FOUNDATIONS FOR  
GARDEN RIDGE SUB'D  
MISTY ARBOR ST.  
GARDEN RIDGE, TEXAS  
FOUNDATION PLAN

DRAWN BY: CLS  
DATE: 1/18/2016  
SCALE: 1/4"= 1'  
REV: 5/12/2016



# City of Garden Ridge

9400 Municipal Parkway  
Garden Ridge, Texas 78266-2600  
(210) 651-6632  
Fax (210) 651-9638

## MINUTES OF PLANNING & ZONING COMMISSION REGULAR SESSION TUESDAY, MAY 10, 2016

### **Commissioners present:**

Chairman Sam Stocks  
Vice Chairman Frank Dansby  
Commissioner Greg Czerniak  
Commissioner David Heier  
Commissioner Kitty Owen

### **Commissioners Absent:**

Commissioner Kay Bower  
Commissioner Shawn Willis

### **Also Present:**

Nancy Cain, City Administrator  
Shelley Goodwin, City Secretary

### **1. Call to Order**

With a quorum of the Planning and Zoning Commission Members present, Sam Stocks, Chair called the Regular Meeting of the Garden Ridge Planning and Zoning Commission to order at 6:00p.m. on Tuesday, May 10, 2016 in the City Council Chambers of the Garden Ridge City Hall, 9400 Municipal Parkway, Garden Ridge, Texas 78266.

### **2. Citizen Comments**

No one wished to speak.

### **3. Business Items**

**The Commission may discuss, consider and/or make recommendations to Council to approve or disapprove the following items:**

- a) **Petition by Sahota Holdings, LLC c/o Ravinder Sahota, for rezoning of a 2.080 acre tract at the southwest corner of FM 2252 and Nacogdoches Loop, from Residence Agriculture (RA) District to Neighborhood Service District**

**(b-1) for a convenience store and car wash (Presentation only. Public Hearing scheduled for June 14, 2016).**

**b) Petition by Sahota Holdings, LLC c/o Ravinder Sahota, for Master Development Plan for a 2.080 acre tract at the southwest corner of FM 2252 and Nacogdoches Loop for a convenience store and car wash**

Nancy Cain, City Administrator, stated Sahota Holdings, LLC is wanting to build a convenience store and car wash on the property located at the southwest corner of FM 2252 and Nacogdoches Loop. She stated this property is currently zoned Residence Agriculture, which does not allow a convenience store and car wash.

Andrew Barboza, KFW Engineers, reviewed the proposed project, zoning, drainage, setbacks, lighting and landscaping. He also reviewed the utilities, environmental compliance within the Edwards Aquifer Transition Zone and the signage for the proposed project.

The Planning and Zoning Commission discussed the process for removal of sludge from car wash, fast food, and proposed rezoning. The also discussed the need for other variances and the effect this rezoning would have on the Comprehensive Land Use Plan.

Nancy Cain, City Administrator, stated because of the Edwards Aquifer a TCEQ permit might be required for the car wash since there is no sewer.

Andrew Barboza, KFW Engineers, stated TCEQ has been contacted and a permit is not required because this property is outside the Edwards Aquifer, but we will have to show how the run off will not drain to prevent it from flowing into stormwater drainage.

Garry Montgomery, River City Engineer, reviewed his findings on items that would need to be addressed before the approval of the Master Development Plan.

Nancy Cain, City Administrator, stated there will be a public hearing at the Planning and Zoning Commission Regular Meeting on June 14, 2016.

#### **4. Administrative Items**

**The Commission may discuss, consider and/or take possible action on the following items:**

**a) Minutes of the April 12, 2016 Joint City Council and Planning and Zoning Commission Meeting**

**Motion:** Upon a motion made by Commissioner Dansby, and seconded by Commissioner Owen, to approve the minutes of the April 12, 2016 Joint City Council and Planning and Zoning Commission. The Planning and Zoning Commission voted five (5) for, none (0) opposed. The motion carried unanimously.

**b) Items discussed at the May 4, 2016 City Council Regular Meeting**

Nancy Cain, City Administrator, stated the City Council did not discuss or take action on any Planning and Zoning Commission issue.

**c) Set date, time and location for next meeting**

Tuesday, June 14, 2016 at 6:00pm.

**5. Citizen's Participation: - 3 minute limit per citizen.**

No one wished to speak.

**6. Adjournment**

**Motion:** Upon a motion made by Commissioner Dansby and a second by Commissioner Czerniak, the meeting was adjourned at 6:33 p.m.

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Sam Stocks, Chair

ATTEST:

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Shelley Goodwin, TRMC  
City Secretary